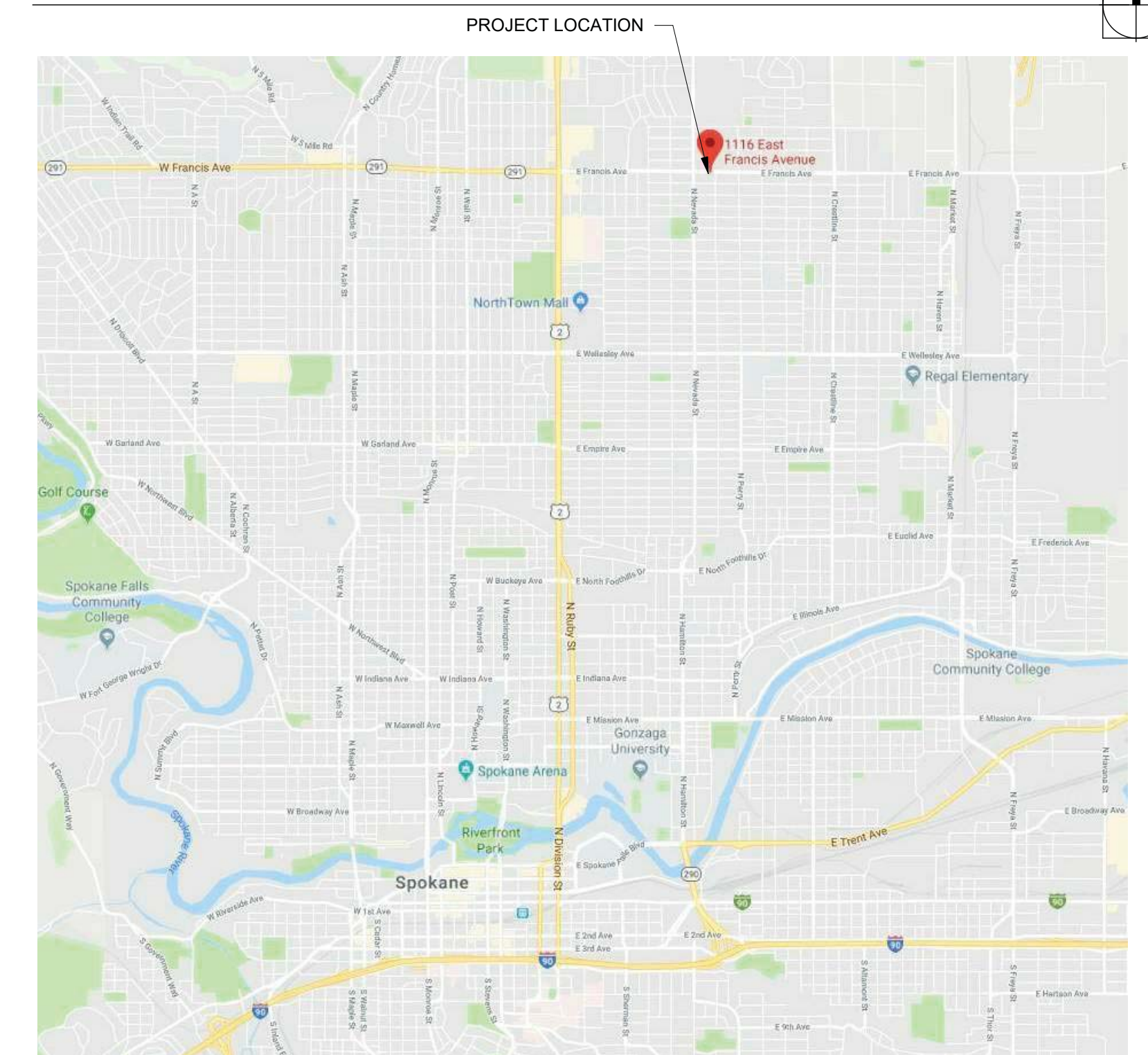




SHEET INDEX

NO.	SHEET NAME	REVISION	DATE
GENERAL			
G-000	COVER SHEET INDEX	C	1/12/21
G-001	LEGENDS, NOTES & ABBREVIATIONS		
G-002	CODE INFORMATION	C	1/12/21
G-005	STRUCTURAL GENERAL NOTES		
V-101	SITE SURVEY	C	1/12/21
ARCHITECTURAL			
A-002	ASSEMBLIES	C	1/12/21
A-003	SCHEDULES	C	1/12/21
A-091	SITE PLAN	B	5/8/20
A-100	FOUNDATION PLAN	C	1/12/21
A-101	LEVEL 1 FLOOR PLAN	C	1/12/21
A-102	LEVEL 2 FLOOR PLAN	C	1/12/21
A-103	ROOF PLAN	B	5/8/20
A-111	LEVEL 1 AND 2 REFLECTED CEILING PLAN	C	1/12/21
A-121	LEVEL 1 - CLT PLAN	C	1/12/21
A-122	LEVEL 2 AND ROOF - CLT PLANS	C	1/12/21
A-201	BUILDING ELEVATIONS	B	5/8/20
A-202	BUILDING ELEVATIONS	C	1/12/21
A-211	BUILDING SECTIONS	C	1/12/21
A-301	WALL SECTIONS	C	1/12/21
A-302	WALL SECTIONS	C	1/12/21
A-401	ENLARGED PLANS	C	1/12/21
A-402	VERTICAL CIRCULATION	C	1/12/21
A-501	INTERIOR ELEVATIONS	C	1/12/21
A-601	EXTERIOR DETAILS	C	1/12/21
A-602	EXTERIOR DETAILS	C	1/12/21
A-603	EXTERIOR DETAILS - CANOPY	C	1/12/21
A-604	EXTERIOR DETAILS - ROOF	C	1/12/21
A-605	INTERIOR DETAILS	C	1/12/21
A-606	CLT WALL PANELS	C	1/12/21
A-607	CLT WALL PANELS	C	1/12/21
30			

VICINITY MAP



PROJECT DESCRIPTION

THE 1,561 SQUARE FOOT SINGLE FAMILY HOUSE IS LOCATED ON A 5,814 SQUARE FOOT LOT IN A RESIDENTIAL NEIGHBORHOOD IN SPOKANE WASHINGTON. THE STRUCTURE WILL BE PRE-FABRICATED OFF-SITE IN A SERIES OF CONNECTED CLT PANELS THAT WILL BE TRANSPORTED TO THE SITE AND PLACED ON A NEW SITE-BUILT FOUNDATION.

PROJECT TEAM

ARCHITECT
THE MILLER HULL PARTNERSHIP, LLP
71 COLUMBIA, SIXTH FLOOR
SEATTLE, WA 98104
Tel: (206) 682-6837
Fax: (206) 682-5692
Contact: SUSAN MCNABB

STRUCTURAL ENGINEER
DCI ENGINEERS
707 W SECOND AVENUE
SPOKANE, WA 99201
Tel: (509) 455-4448
Fax: (509) 455-7492
Contact: CRAIG CROWLEY

PREFABRICATOR
BERG MANUFACTURING
6811 E MISSION AVENUE
SPOKANE VALLEY, WA 99212
Tel: (509) 624-8921
Fax: (509) 624-9780
Contact: ANDY BARRETT

CONTRACTOR
BAKER CONSTRUCTION
2711 EAST SPRAGUE AVENUE
SPOKANE, WA 99202
Tel: (509) 535-3668
Fax:
Contact: ZACH BULL

OWNER
MATT'S PLACE FOUNDATION

Tel: (208) 696-4284
Fax:
Contact:

City of Spokane
Development Services Center

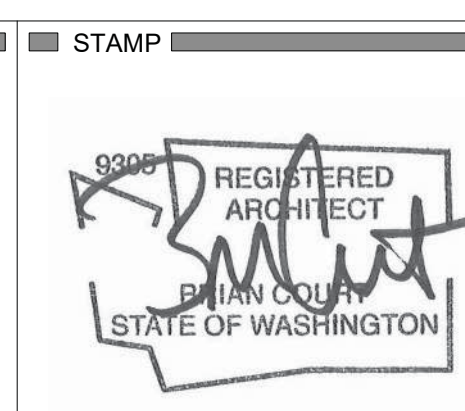
THIS SET OF PLANS AND SPECIFICATIONS MUST BE KEPT ON THE JOB SITE AT ALL TIMES AND IT IS UNLAWFUL TO MAKE CHANGES OR ALTERATIONS WITHOUT WRITTEN PERMISSION FROM THE DEVELOPMENT SERVICES CENTER. THE ISSUING OF A PERMIT OR STAMPING OF THE PLAN(S) AND SPECIFICATIONS SHALL NOT BE HELD TO PERMIT OR APPROVE VIOLATIONS OF ANY LAW.

APPROVED
By Katie Shaffer at 9:23 am, Feb 02, 2021

NO.	DESCRIPTION	DATE
C	PERMIT RESUBMITTAL	1/12/21

Issue Date: JANUARY 12, 2021
 Drawn: _____ Author
 Checked: _____ Checker
 MJH Project No.: H94.008817

NO.	DESCRIPTION	DATE
C	PERMIT RESUBMITTAL	1/12/21



NO.	DESCRIPTION	DATE

Matt's Place Spokane 1+

1116 East Francis Avenue | Spokane, WA 99208

PERMIT SUBMITTAL
JANUARY 12, 2021

NO.	DESCRIPTION	DATE

ARCHITECT
The Miller Hull Partnership, LLP
Architecture and Planning
Polson Building
71 Columbia, Sixth Floor
Seattle, WA 98104
Phone: 206.682.6837
Fax: 206.682.5692

MILLER HULL

NO.	DESCRIPTION	DATE

COVER SHEET INDEX
G-000

REVISED 1/14/2021 B1921045

ABBREVIATIONS

NOTE: ABBREVIATIONS NOTED IN THE DRAWINGS THAT ARE FOLLOWED BY A MODIFIER SUCH AS "-1", "-A" ARE FURTHER DEFINED IN THE SPECIFICATIONS SECTION ASSOCIATED WITH THE MATERIAL OR SYSTEM ASSEMBLY AS NOTED

AB	ANCHOR BOLT, AIR BARRIER	CT	CERAMIC TILE	FRT	FIRE RETARDANT TREATED (INTERIOR)	JAN	JANITOR	OPP	OPPOSITE	RVS	REVERSE	TF	TOP OF FOOTING, TILE FLOOR
ABV	ABOVE	CTB	CERAMIC TILE BASE	FS	FIRE SPRINKLER	JC	JANITOR'S CLOSET	ORD	OVERFLOW ROOF DRAIN	RWD	REDWOOD	TGL	TEMPERED GLASS
AC	AIR CONDITIONING	CTR	CENTER	FT	FOOT, FEET	JT	JOINT	OTS	OPEN TO STRUCTURE	RWL	RAIN WATER LEADER	THK	THICK(NESS)
ACIP	ARCHITECTURAL CAST IN PLACE CONCRETE	CW	COLD WATER CLOCKWISE CURTAINWALL	FTG	FOOTING			OVHD	OVERHEAD	S	SOUTH	THRES	THRESHOLD
ACOUS	ACOUSTICAL			FURG	FURRING	K	1000 POUNDS (KIP)	PA	PLANTED AREA	SA	SUPPLY AIR, SAFETY ANCHOR	TJ	TOP OF JOIST, TOOL JOINT
ACP	ASPHALTIC CONCRETE PAVING	D	DEPTH	FURN	FURNITURE	KB	KEY BOX	PB	PUSH BUTTON	SAM	SELF ADHERED MEMBRANE	TKBD	TACK BOARD
	ACOUSTIC CEILING PANEL	d	PENNY	FUT	FUTURE	KD	KNOCK DOWN	PBD	PARTICLE BOARD	SB	SPLASH BLOCK	TMPD	TEMPERED
		DBK	DOUBLE	FWC	FABRIC WALL COVERING	KIT	KITCHEN	PCC	PRECAST CONCRETE	SBR	SEALANT AND BACK ROD	TNL	TUNNEL
ACT	ACOUSTIC CEILING TILE	DEG	DEGREE(S)	FWCP	FABRIC WRAPPED CEILING PANELS	KO	KNOCK OUT	PCF	POUNDS PER CUBIC FOOT	SC	SOLID CORE	TO	TOP OF
AD	AREA DRAIN, ACCESS DOOR	DEMO	DEMOLITION	FWP	FABRIC WALL PANEL	KPL	KICK PLATE	PCP	PRECAST CONCRETE PAVERS	SCD	SEAT COVER DISPENSER	TOC	TOP OF CONCRETE
ADJ	ADJUSTABLE	DEPT	DEPARTMENT	FXT	FIRE RETARDANT TREATED (EXTERIOR) FIXTURE	KSI	KIPS PER SQUARE INCH					TOP	TOP OF PARAPET
ADJC	ADJACENT	DET	DETAIL			KW	KILOWATTS					TOPO	TOPOGRAPHIC MAP
AESS	ARCHITECTURALLY EXPOSED STRUCTURAL STEEL	DF	DRINKING FOUNTAIN	FXTR		KWY	KEYWAY					TOS	TOP OF STEEL
		DIA	DIAMETER			L	ANGLE STEEL MEMBER	PCT	PRECAST CONCRETE TREADS	SCHED	SCHEDULE	TP	TOP OF PAVEMENT
AFF	ABOVE FINISH FLOOR	DIAG	DIAGONAL	G	GIRDER	LAB	LABORATORY	PE	PORCELAIN ENAMEL	SCP	SCUPPER	TPH	TOILET PAPER HOLDER
AGGR	AGGREGATE	DIFF	DIFFUSER	GA	GAUGE	LAM	LAMINATE(TION)	PEP	PEDESTAL	SCRN	SCREEN	TPO	POLYOLEFIN
AL	ALUMINUM	DISP	DISPENSER	GAL	GALLON	LAV	LAVATORY	PERF	PERFORATE(D)	SCS	SPECIAL CEILING SURFACE(S)	TPTN	TOILET PARTITION
ALT	ALTERNATE	DMPF	DAMP/PROOFING	GALV	GALVANIZED	LB	POUND(S)	PGBD	PEGBOARD	SCWD	SOLID CORE WOOD DOOR	TR	TOP OF RIM
AP	ACCESS PANEL	DN	DOWN	GB	GRAB BAR	LBL	LABEL	PIV	POST INDICATOR VALVE	SD	SOAP DISPENSER	TRTD	TREATED
APPROX	APPROXIMATE	DO	DITTO	GC	GENERAL CONTRACTOR	LDG	LANDING	PL	PLATE	SDC	SYNTHETIC DECK COATING	TS	TUBULAR STEEL MEMBER
ARCH	ARCHITECTURAL (TECT)	DR	DOOR	GCMU	GLAZED CONCRETE MASONRY UNIT	LF	LINEAR FEET	PLAM	PLASTIC LAMINATE	SECT	SECTION	TSL	TOP OF SLAB
ASPH	ASPHALT	DS	DOWNSPOUT	GDR	GUARDRAIL(ING)	LG	LONGLENGTH	PLAS	PLASTER	SF	SQUARE FOOT, SAFING FIBER INSULATION	TSTAT	THERMOSTAT
AV	AUDIO VISUAL	DSP	DOUBLE STRENGTH	GEN	GENERATOR, GENERAL	LH	LEFT HAND	PLYWD	PLYWOOD			TW	TOP OF WALL
AVG	AVERAGE	DWG	DRAWING	GFRC	GLASS FIBER REINFORCED CONCRETE	LIN	LINEAL	PNL	PANEL	SFRM	SPRAY-APPLIED FIRE RESISTIVE MATERIAL	TYP	TYPICAL
AWP	ACOUSTICAL WALL PANEL	DWR	DRAWER			LINOLEUM	LINOLEUM	PNT	PAINT			UGND	UNDERGROUND
		E	EAST	GFRG	GLASS FIBER REINFORCED GYPSUM	LL	LIVE LOAD	POL	POLISHED			UH	UNIT HEATER
B	BATHROOM, BOLLARD	EA	EACH	GFRP	GLASS FIBER REINFORCED PLASTER	LLH	LONG LEG HORIZONTAL	PR	PAIR			UL	UNDERWRITER'S LABORATORY
BC	BOTTOM OF CURB	EB	EXPANSION BOLT			LLV	LONG LEG VERTICAL	PRCST	PRECAST	SGD	SGD	UNEX	UNEXCAVATED
BD	BOARD	EJ	EACH FACE	GL	GLASS	LNTL	LINTEL	PREFAB	PREFABRICATED	SH	SHelf	UNFIN	UNFINISHED
BETW	BETWEEN	EF	EXPANSION JOINT	GLB	GLUE LAMINATED BEAM	LPT	LOW POINT	PREFIN	PREFINISHED	SHD	SHADE(S)	UON	UNLESS OTHERWISE NOTED
BITUM	BITUMINOUS	EJ	EARTHQUAKE JOINT COVER	GLZ	GLAZING (ED)	LR	LIVING ROOM	PRESS	PRESSURE	SHR	SHOWER	UR	UR
BLDG	BUILDING			GN	GROUND	LT	LIGHT	PRP	PROPERTY	SHT	SHEET	UTIL	UTILITY
BLK	BLOCK(ING)	EL	ELEVATION	GP	GRAFFITTI PROTECTION	LTV	LIGHTING LOUVER	PRV	PRESSURE REDUCING VALVE	SHTHG	SHEATHING	UV	ULTRAVIOLET
BLW	BELOW	ELEC	ELECTRIC(AL)	GPC	GYPSUM PLASTER CEILING	LWG	LIGHTWEIGHT CONCRETE	PSF	POUNDS PER SQUARE FOOT	SIM	SIMILAR	V	VOLT
BM	BEAM	ELEV	ELEVATOR					PSI	POUNDS PER SQUARE INCH	SK	SINK	VB	VINYL BASE, VAPOR BARRIER
BO	BOTTOM OF	EMER	EMERGENCY	GR	GRADE (ING)	M	MEN'S RESTROOM	PT	POINT, POST	SKLT	SKYLIGHT	VCT	VINYL COMPOSITION TILE
BOT	BOTTOM	ENAM	ENAMEL	GRTG	GRATING	MAG	MAGNET	PTD	PAPER TOWEL DISPENSER	SLDG	SLIDING	VENT	VENTILATION
BR	BEDROOM	ENCL	ENCLOSURE	GT	GROUT	MAINT	MAINTENANCE	PTD/R	PAPER TOWEL DISPENSER & RECEPTACLE	SLNT	SLANT	VERT	VERTICAL
BRG	BEARING	ENGR	ENGINEER	GW	GYPSUM WALL BOARD	MAS	MASONRY	PTN	PARTITION	SM	SHEET METAL	VG	VERTICAL GRAIN
BRK	BRICK	ENTR	ENTRANCE	GWB	GYPSUM	MATL	MATERIAL	PTR	PAPER TOWEL RECEPTACLE	SMK	SMOKE	VIN	VINYL
BSMT	BASEMENT	EP	ELECTRICAL PANEL	GYP PLAS	GYPSUM PLASTER CEILING	MAX	MAXIMUM	PTR	PAPER TOWEL RECEPTACLE	SND	SANITARY NAPKIN DISPENSER, SOUND	VNR	VENEER
BUR	BUILT-UP ROOFING	EQ	EQUAL			MB	MACHINE BOLT	PVC	POLYVINYL CHLORIDE	SNR	SANITARY NAPKIN RECEPTACLE	VOL	VOLUME
BUT	BUILT-UP STEEL "T" MEMBER	EQUIP	EQUIPMENT			MBR	MASTER BEDROOM	PVDF	FLUOROPOLYMER COATING	SO	SOUNDPROOF, SPACE(D) (S), SPACING SPECIFICATION	VR	VAPOR RETARDER
		ESCAL	ESCALATOR			MC	MISC. CHANNEL STEEL MEMBER	PVMT	PAVEMENT	SOH	SECTIONAL OVERHEAD DOOR	VTR	VENT THROUGH ROOF
		EW	EACH WAY			MD	METAL DECK	PWRD	POWDER	SOHD	SECTIONAL OVERHEAD DOOR	VWC	VINYL WALL COVERING
C	CHANNEL STEEL MEMBER	EW	ELECTRIC WATER COOLER			MDF	MEDIUM DENSITY FIBERBOARD	QT	QUARRY TILE	SP	SOUNDPROOF, SPACE(D) (S), SPACING SPECIFICATION	W	WEST, WIDE
C&G	CURB AND GUTTER	EXH	EXHAUST			MD	MEDIUM DENSITY OVERLAY	QTB	QUARRY TILE BASE	SPKR	SPEAKER	W	WEST, WIDE
CAB	CABINET	EXP	EXPANSION			MDO	MEADUM DENSITY OVERLAY	QTF	QUARRY TILE FLOOR	SQ	SQUARE	W	WEST, WIDE
CB	CATCH BASIN CORNER BEAD	EXPO	EXPOSED			MECH	MECHANICAL	QTR	QUARTER	SQFT	SQUARE FEET	W	WEST, WIDE
CBB	CEMENT BACKER BOARD	EXT	EXTERIOR			MED	MEDIUM, MEDICINE, MEDICAL	QTY	QUANTITY	SS	SYNTHETIC STUCCO FINISH	W	WEST, WIDE
CC	CENTER TO CENTER	EXTR	EXTRUDED			MEMB	MEMBRANE	R	RADIUS, RISER	SSM	SOLID SURFACE MATERIAL	W	WEST, WIDE
CEM	CEMENT	FA	FIRE ALARM			MEZZ	MEZZANINE	RA	RETURN AIR	SST	STAINLESS STEEL	W	WEST, WIDE
CER	CERAMIC	FAB	FABRICATE			MGR	MANUFACTURER	RB	RESILIENT BASE	ST	STAIR, STREET	W	WEST, WIDE
CFLG	COUNTER FLASHING	FACP	FIRE ALARM CONTROL PANEL			MH	MANAGER	RBR	RUBBER	STAG	STAGGERED	W	WEST, WIDE
CG	CORNER GUARD	FAPB	FIRE ALARM PULL BOX			MIR	MANHOLE	RD	ROOF DRAIN, ROAD	STC	SOUND TRANSMISSION CLASS	W	WEST, WIDE
CHBD	CHALK BOARD	FB	FLAT BAR			MIN	MINIMUM, MINUTE(S)	RE	REFER TO	STD	STANDARD	W	WEST, WIDE
CHFR	CHAMFER	FCP	FABRIC CEILING PANEL(S)			MISC	MISCELLANEOUS	REB	REFER TO	STG	SEATING	W	WEST, WIDE
CHR	CHAIR RAILING	FD	FLOOR DRAIN, FIRE DAMPER			MKR	MARKER	REC	RECESSED	STL	STEEL	W	WEST, WIDE
CI	CAST IRON	FHD	FIRE HOSE CABINET			MLDG	MOULDING	REF	REFERENCE	STN	STONE	W	WEST, WIDE
CIP	CAST-IN-PLACE	FHMS	FLAT HEAD MACHINE SCREW			MOD	MODIFY, MODIFIED	REFR	REFRIGERATOR	STR	STRINGER	W	WEST, WIDE
CJ	CONSTRUCTION JOINT	FHW	FLAT HEAD WOOD SCREW			MOT	MORTAR	REG	REGULATE (TION), REGISTER	STRUCT	STRUCTURE (AL)	W	WEST, WIDE
CL	CENTERLINE	FL	FLASHING			MTD	MOUNTED	REIN	REINFORCE(D) (ING) (MENT)	SUSP	SUSPENDED	W	WEST, WIDE
CLG	CEILING	FLR	FLOOR(ING)			MLDG	MOULDING	REQD	REQUIRED	SV	SHEET VINYL	W	WEST, WIDE
CLJ	CONTROL JOINT	FHD	FIRE HOSE CABINET			MO	MASONRY OPENING	RESF	RESINOUS FLOORING	SW	SIDEWALK	W	WEST, WIDE
CLKG	CAULKING	FEC	FORE EXTINGUISHER CABINET			MOD	MODIFY, MODIFIED	RESIL	RESILIENT	SYM	SYMMETRICAL	W	WEST, WIDE
CLO	CLOSET	FEXT	FIRE EXTINGUISHER			MOT	MORTAR	RET	RETAINING	SYNTH	SYNTHETIC	W	WEST, WIDE
CLOS	CLOSURE	FF	FINISHED FLOOR			MTL	METAL	REV	REVISED, REVISION	SYS	SYSTEM	W	WEST, WIDE
CLR	CLEAR	FHC	FIRE HOSE CABINET			MTL	METAL	RFG	ROOFING	T	THREAD, TOILET	W	WEST, WIDE
CMP	CORRUGATED METAL PIPE	FHM	FLAT HEAD MACHINE SCREW			MTL	METAL PANEL	RH	RIGHT HAND, ROOF HATCH	T&B	TOP AND BOTTOM	W	WEST, WIDE
CMU	CONCRETE MASONRY UNIT	FHMS	FLAT HEAD MACHINE SCREW			MTLR	METAL ROOF	RM	ROOM	T&G	TONGUE AND GROOVE	W	WEST, WIDE
CNTR	COUNTER	FWHS	FLAT HEAD WOOD SCREW			MULL	MULLION	RO	ROUGH OPENING	TA	TOILET ACCESSORY	W	WEST, WIDE
CO	CASED OPENING, CLEAN OUT	FIN	FINISH			N	NORTH	ROW	RIGHT-OF-WAY	TB	TOP OF BEAM, TILE BASE	W	WEST, WIDE
COL	COLUMN	FL	FLASHING			NC	NOISE CRITERIA	RS (F)	RUBBER SHEET (FLOORING)	TC	TOP OF CURB	W	WEST, WIDE
CONC	CONCRETE	FLR	FLOOR(ING)			NIC	NOT IN CONTRACT			TCP	TRANSLUCENT COLOR PANEL	W	WEST, WIDE
CONF	CONFERENCE	FLUOR	FLUORESCENT			NO OR #	NUMBER			TD	TRENCH DRAIN	W	WEST, WIDE
CONN	CONNECT(ION)	FM	FACTORY MUTUAL			NOM	NOMINAL			TE	TOP ELEVATION	W	WEST, WIDE
CONSTR	CONSTRUCTION	FND	FOUNDATION			NS	NONSLIP			TEL	TELEPHONE	W	WEST, WIDE
CONT	CONTINUOUS	FOC	FACE OF CONCRETE			NTS	NOT TO SCALE			TEMP	TEMPERATURE	W	WEST, WIDE
CONTR	CONTRACT(OR)	FOF	FACE OF FINISH			OA	OVERALL			TER	TERRAZZO	W	WEST, WIDE
COORD	COORDINATE	FOI	FURNISHED BY OWNER			OC	ON CENTER					W	WEST, WIDE
CORR	CORRIDOR, CORRUGATED	FOIS	FURNISHED BY OWNER			OD	OUTSIDE DIAMETER					W	WEST, WIDE
CPRS	COMPRESSIBLE	FOIS	FACE OF MASONRY			OFF	OFFICE					W	WEST, WIDE
CPT	CARPET(ING)	FOS	FACE OF STUD			OH	OPPOSITE HAND					W	WEST, WIDE
CRS	COLD ROLLED STEEL COURSE	FOS	FACE OF STUD			OHCD	OVERHEAD COILING DOOR					W	WEST, WIDE
CSK	COUNTERSUNK (SINK)	FOS	FACE OF STUD			OHCS	OVERHEAD COILING SHUTTER					W	WEST, WIDE
		FOS	FACE OF STUD			OP	OPERABLE PARTITION OPENING					W	WEST, WIDE
		FOS	FACE OF STUD			OPNG	OPENING					W	WEST, WIDE

SYMBOLS LEGEND

1	TITLE SCALE	DRAWING NUMBER & TITLE
	TRUE NORTH	NORTH ARROW
	PLAN NORTH	
1	SIM A101	DETAIL NUMBER OVER SHEET NUMBER
1	A21	BUILDING SECTION
1	A30	WALL SECTION
2	A20	EXTERIOR ELEVATION
1	A301	INTERIOR ELEVATION
	LOBBY 101	ROOM IDENTIFICATION
		DOOR IDENTIFICATION
		ABOVE, BELOW OR HIDDEN
		GRID LINE
		WALL TYPE, (REF INTERIOR PARTITION LEGEND (SHEET A-003))
		WINDOW TYPE, REF SHEET A-003
		LOUVER TYPE, REF SHEET A-003
		TOILET ACCESSORY IDENTIFICATION
		KEYNOTE - EXTERIOR/INTERIOR MATERIAL

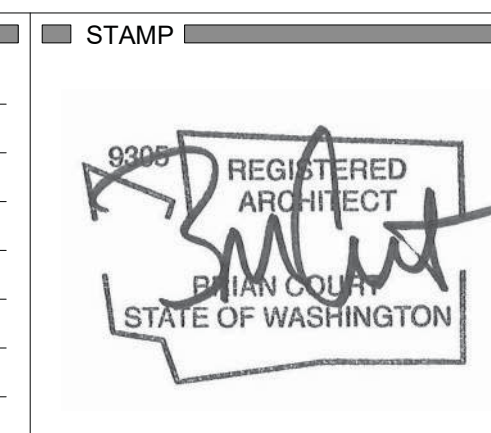
MATERIALS LEGEND

	GYPSUM BOARD
	EXTERIOR SHEATHING (REF: DRAWINGS) - GYPSUM SHEATHING, TYP. - PLYWOOD SHEATHING AS NOTED
	BATT INSULATION
	RIGID INSULATION
	SEMI-RIGID INSULATION
	CONCRETE
	BRICK
	CONCRETE MASONRY UNITS (CMU)
	STEEL
	SOLID WOOD BLOCKING
	WOOD FRAMING, CONTINUOUS WOOD
	WOOD TRIM
	METAL STUD FRAMING
	NATIVE OR COMPACTED SOIL
	GRAVEL
	CROSS LAMINATED TIMBER

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Issue Date:	JANUARY 12, 2021
Drawn:	Author
Checked:	Checker
MJH Project No.:	H94.008817

No.	Description	Date



STAMP	CONSULTANT

Matt's Place Spokane 1+

1116 East Francis Avenue | Spokane, WA 99208

PERMIT SUBMITTAL

JANUARY 12, 2021

<p>ARCHITECT</p> <p>The Miller Hull Partnership, LLP Architecture and Planning Polson Building 71 Columbia, Sixth Floor Seattle, WA 98104</p> <p>Phone 206.682.6837 Fax 206.682.6892</p>	<p>SHEET</p> <h2>LEGENDS, NOTES & ABBREVIATIONS</h2> <h1>G-001</h1>
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REVISED 1/14/2021 B1921045

APPLICABLE CODES

Building Code	2015 International Residential Code, (except Part IV - Energy Efficiency, Part VII - Plumbing, and Part VIII - Electrical), and Chapter 51-51 WAC
Accessibility	Chapter 51-50 WAC Chapter 11, Accessibility, 2015 IBC, 2009 ICC/ANSI A117.1
Energy Code	2015 International Energy Conservation Code, Chapter 51-11C and 51-11R WAC
Mechanical Code	2015 International Mechanical Code and 2015 International Fuel Gas Code, Chapter 51-52 WAC, and the additions, deletions, and amendments set forth in Chapter 17, Spokane Municipal Code
Plumbing Code	2015 Uniform Plumbing Code, and related standards published by the International Association of Plumbing and Mechanical Officials, as modified by chapter 51-56 WAC and the additions, deletions, and amendments set forth in Chapter 17, Spokane Municipal Code
Electrical Code	2017 National Electrical Code including the rules and regulations of the State department of labor and industries, contained in chapter 296-46B WAC (except WAC 296-46B-906, WAC 296-46B-907, WAC 296-46B-908, WAC 296-46B-909, and WAC 296-46B-911) as amendments and interpretations, and amendments set forth in Chapter 17, Spokane Municipal Code. Persons doing electrical work are also required to comply with the state electrical installations laws.
Fire Code	2015 International Fire Code as amended by Washington State, as modified by Chapter 17, Spokane Municipal Code
Fire Department Authority	City of Spokane

BUILDING CODE

BUILDING PERMIT	PROJECT # B1921045BLDR
Occupancy Classification	Zone: O-35 Conditional use: RMF and RHD
Occupancy Separation	None required.
Construction Type	Type IV
Allowable Floor Area	Total allowable area per Table 506.2 R-3: Unlimited
Proposed Floor Area	R-3: 1,010 S.F. Ground Level R-3: 551 S.F. Upstairs Level
Total	1,561 S.F. Net
Allowable height	4 story per IBC Table 504.4
Proposed height	2 stories
Fire Resistive Requirements	Resistance per Table 302.1(1) of IRC Primary Structure: Heavy Timber Bearing Walls: Exterior - 0 Hours (> 5' separation) Bearing Walls: Interior - NA Nonbearing walls and partitions, Interior - NA
Fire Separation Distance	Greater than 5' (per table 302.1(1) of IRC)

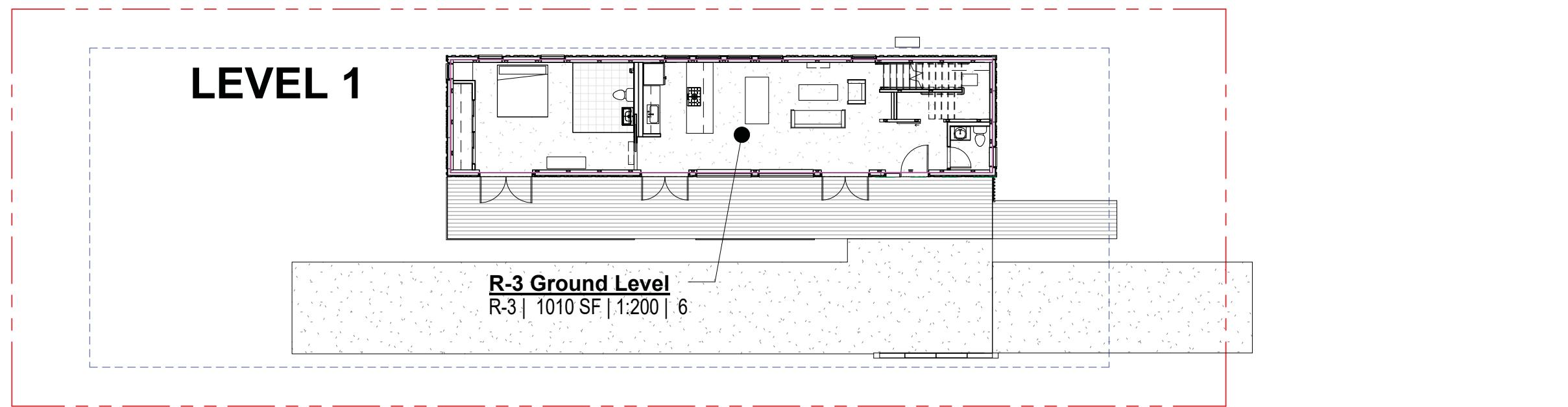
ZONING CODE SUMMARY

Property Address	1116 East Francis Avenue Spokane WA 99208
Parcel Number	36321.0201
Owner	Matt's Place Foundation
Zone	RMF Residential Multifamily
Lot Area	.133 acre (5,814 SF)
Front Setback	15 feet
Side Yard Setback	5 feet
Rear Setback	10 feet
Maximum Bldg Coverage	50%
Floor Area Ratio Maximum	none
Maximum Roof Height	35 feet
Maximum Wall Height	30 feet
Required Outdoor Area	200 SF, 10'x10' minimum dimension
Required Parking	1 per unit minimum. No maximum.
Parking Setback	20 feet from property line

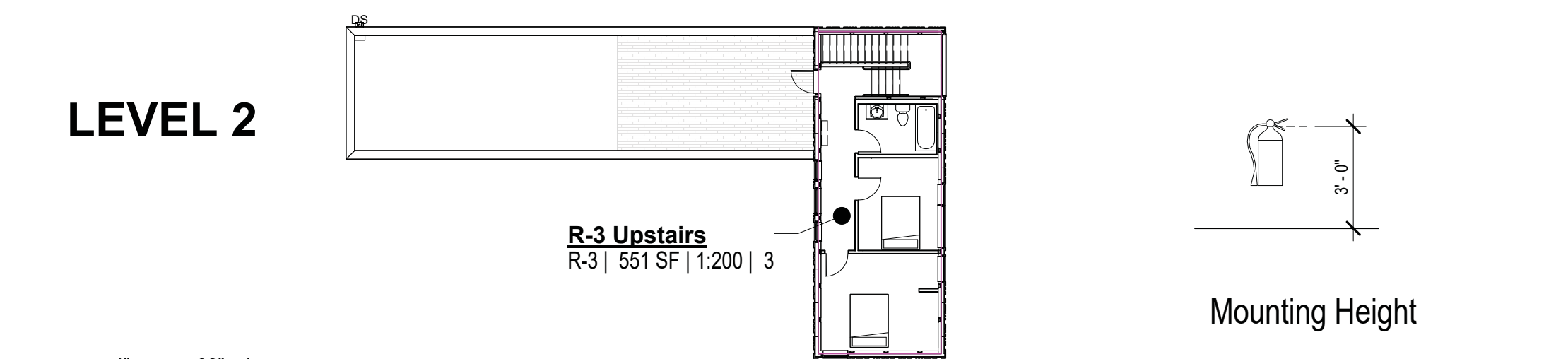
PRESCRIPTIVE ENERGY CODE

2015 WASHINGTON STATE ENERGY CODE, RESIDENTIAL PROVISIONS			
Occupancy	Group R-3	Climate Zone	Zone 5B - Dry
RESIDENTIAL COMPLIANCE COMPONENT REQUIREMENTS AND EQUIVALENT U-FACTORS (TABLE R402.1.1 AND R402.1.3)			
Fenestration U-Factor	U-0.30	Mass Wall R-Value	R-21 / U-0.056
Skylight U-Factor	0.50	Floor	R-30 / U-0.029
Glazed Fenestration SHGC	NR	Below Grade Wall	R-10/15/21 INT + TB / U-0.042
Ceiling	R-49 / U-0.026	Slab R-Value & Depth	R-10, 2ft / F-0.540
Wood Frame Wall	R-21 / U-0.056		
EFFICIENCY PACKAGE OPTIONS			
EFFICIENT BUILDING ENVELOPE 1a	Vertical fenestration U = 0.28 Floor R-38 Slab on grade R-10 perimeter and under entire slab Below grade slab R-10 perimeter and under entire slab		
AIR LEAKAGE CONTROL AND EFFICIENT VENTILATION 2a	Compliance based on R402.4.1.2: Reduce the tested air leakage to 3.0 air changes per hour maximum and All whole house ventilation requirements as determined by Section M1507.3 of the International Residential Code shall be met with a high efficiency fan (maximum 0.35 watts/cfm), not interlocked with the furnace fan. Ventilation systems using a furnace including an ECM motor are allowed, provided that they are controlled to operate at low speed in ventilation only mode.		
HIGH EFFICIENCY HVAC EQUIPMENT 3d	Ductless Split System Heat Pumps, Zonal Control: In homes where the primary space heating system is zonal electric heating, a ductless heat pump system shall be installed and provide heating to the largest zone of the housing unit.		
HIGH EFFICIENCY HVAC DISTRIBUTION SYSTEM 4	All heating and cooling system components installed inside the conditioned space. This includes all equipment and distribution system components such as forced air ducts, hydronic piping, hydronic floor heating loop, convectors and radiators. All combustion equipment shall be direct vent or sealed combustion. For forced air ducts: A maximum of 10 linear feet of return ducts and 5 linear feet of supply ducts may be located outside the conditioned space. All metallic ducts located outside the conditioned space must have both transverse and longitudinal joints sealed with mastic. If flex ducts are used, they cannot contain splices. Flex duct connections must be made with nylon straps and installed using a plastic strapping tensioning tool. Ducts located outside the conditioned space must be insulated to a minimum of R-8. Locating system components in conditioned crawl spaces is not permitted under this option. Electric resistance heat and ductless heat pumps are not permitted under this option. Direct combustion heating equipment with AFUE less than 80% is not permitted under this option.		
EFFICIENT WATER HEATING 5a	All showerhead and kitchen sink faucets installed in the house shall be rated at 1.75 GPM or less. All other lavatory faucets shall be rated at 1.0 GPM or less.		
RENEWABLE ELECTRIC ENERGY 6	RENEWABLE ELECTRIC ENERGY: For each 1200 kWh of electrical generation per housing unit provided annually by on-site wind or solar equipment a 0.5 credit shall be allowed, up to 3 credits. Generation shall be calculated as follows: For solar electric systems, the design shall be demonstrated to meet this req		

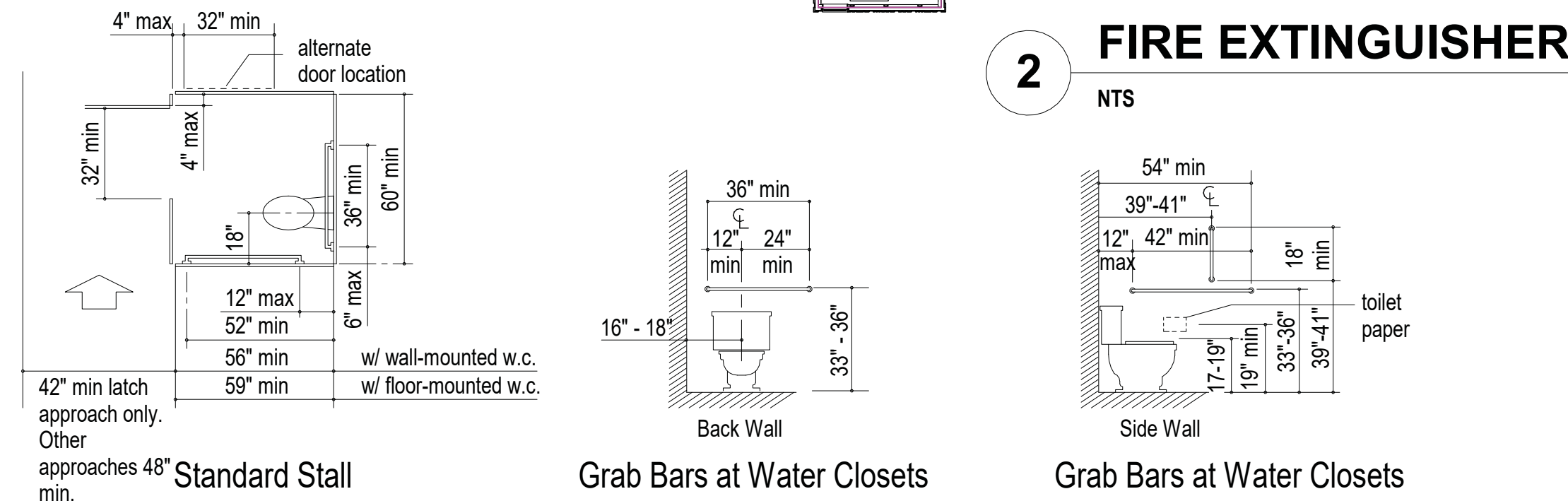
OCCUPANCY CALCULATION



LEVEL 2

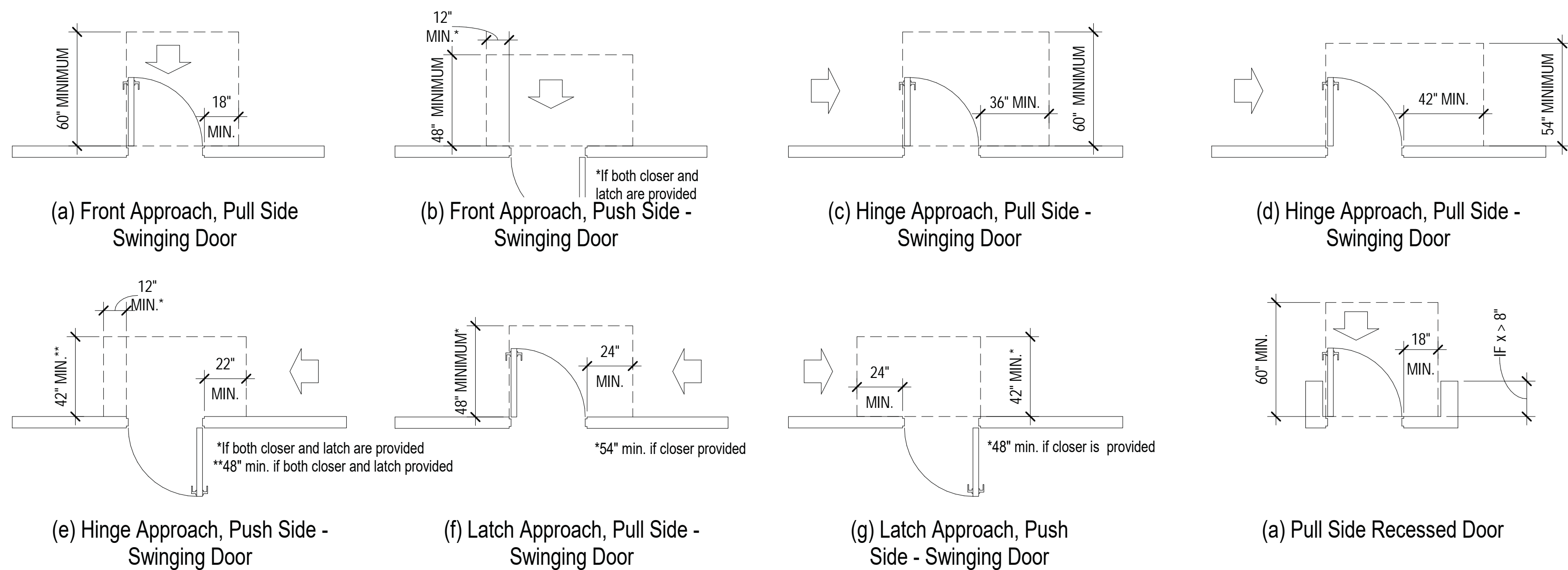


2 FIRE EXTINGUISHER NTS



3 ACCESSIBLE WATER CLOSET STALL DETAILS NTS

From Figures 604.5.1, 604.5.2 and 604.9.3.1 Accessible and Usable Buildings and Facilities ICC A117.1-2009



1 MANEUVERING CLEARANCE AT MANUAL SWINGING DOORS NTS

From Figures 404.2.3.2 and 404.2.3.5 Accessible and Usable Buildings and Facilities ICC A117.1-2009

CHECKED	REVISIONS	STAMP	CONSULTANT
	No. Description Date C PERMIT RESUBMITTAL 1/12/21	9200 REGISTERED ARCHITECT BRIAN COLEMAN STATE OF WASHINGTON	
Issue Date: JANUARY 12, 2021	Drawn: Author		
Checked: Checker	MJH Project No.: H94.008817		

Matt's Place Spokane 1+
1116 East Francis Avenue | Spokane, WA 99208

PERMIT SUBMITTAL
JANUARY 12, 2021

ARCHITECT: The Miller Hull Partnership, LLP
Architecture and Planning
Polson Building
71 Columbia, Sixth Floor
Seattle, WA 98104

Phone 206.682.6837
Fax 206.682.5892

SHEET

CODE INFORMATION
G-002

MILLER HULL

REVISED 1/14/2021 B1921045

STRUCTURAL GENERAL NOTES

CAST-IN-PLACE CONCRETE

REFERENCE STANDARDS: Conform to:

- ACI 301-10 "Specifications for Structural Concrete"
- IBC Chapter 19 "Concrete"
- ACI 318-14 "Building Code Requirements for Structural Concrete"
- ACI 117-10 "Specifications for Tolerances for Concrete Construction and Materials"
- ACI 332-14 "Residential Code Requirements For Structural Concrete"

FIELD REFERENCE: The contractor shall keep a copy of ACI Field Reference manual, SP-15, "Standard Specifications for Structural Con (ACI 301) with Selected ACI and ASTM References."

CONCRETE MIXTURES: Conform to ACI 301 Section 4 "Concrete Mixtures" and IBC Section 1904.1.

MATERIALS: Conform to ACI 301 Section 4.2.1 "Materials" for requirements for cementitious materials, aggregates, mixing water admixtures.

SUBMITTALS: Provide all submittals required by ACI 301 Section 4.1.2. Submit mix designs for each mix in the table below. Substanti strength results from past tests shall not be older than 24 months per ACI 318 Section 26.4.3.1 (b).

TABLE OF MIX DESIGN REQUIREMENTS

Member Type/Location	Strength Fc (psi)	Test Age (days)	Nominal Maximum Aggregate	Exposure Class	Max W/C Ratio	Air Content	Notes (1 to 8 Typical UNO)
Foundations (Residential)	3000	28	1"	-	-	-	9
Exterior Stem Walls & Curbs	3000	28	1"	F2	0.45	6%	9

Table of Mix Design Requirements Notes:

- W/C Ratio: Water-cementitious material ratios shall be based on the total weight of cementitious materials. Maximum ratios controlled by strength noted in the Table of Mix Design Requirements and durability requirements given in ACI 318 Section 19.3.
- Cementitious Materials:
 - The use of fly ash, other pozzolans, silica fume, or slag shall conform to ACI 318 Sections 19.3.2 and 26.4.2.2. Maximum am of fly ash shall be 25% of total cementitious content unless reviewed and approved otherwise by SER.
 - For concrete used in elevated floors, minimum cementitious-materials content shall conform to ACI 301 Table 4. Acceptance of lower cement content is contingent on providing supporting data to the SER for review and acceptance.
 - Cementitious materials shall conform to the relevant ASTM standards listed in ACI 318 Section 26.4.1.1.1(a).
- Air Content: Conform to ACI 318 Section 19.3.3.1. Minimum standards for exposure class are noted in the table. If freezing and the class is not noted, air content given is that required by the SER. Tolerance is ±1-½%. Air content shall be measured at poi placement.
- Aggregates shall conform to ASTM C33.
- Slump: Conform to ACI 301 Section 4.2.2.2. Slump shall be determined at point of placement.
- Chloride Content: Conform to ACI 318 Table 19.3.2.1.
- Non-chloride accelerator: Non-chloride accelerating admixture may be used in concrete placed at ambient temperatures below 50 the contractor's option.
- ACI 318, Section 19.3.1.1 exposure classes shall be assumed to be F2, S0, P0, and C0 unless different exposure classes are list the Table of Mix Design Requirements that modify these base requirements.
- Structural design is based on strength of 2500 psi and therefore does not require special inspection. The 3000 psi compressive str is specified for serviceability.

FORMWORK & RESHORING: Conform to ACI 301 Section 2 "Formwork and Form Accessories." Removal of Forms shall conform to Se 2.3.2 except strength indicated in Section 2.3.2.5 shall be 0.75 f' c.

MEASURING, MIXING, AND DELIVERY: Conform to ACI 301 Section 4.3.

HANDLING, PLACING, CONSTRUCTING AND CURING: Conform to ACI 301 Section 5. In addition, hot weather concreting shall confo ACI 305R-10 and cold weather concreting shall conform to ACI 306R-10.

EMBEDDED ITEMS: Position and secure in place expansion joint material, anchors and other structural and non-structural embedded items before placing concrete. Contractor shall refer to mechanical, electrical, plumbing and architectural drawings and coordinate other embedded items.

CONCRETE PLACEMENT TOLERANCE: Conform to ACI 117-10 for concrete placement tolerance.

CONCRETE REINFORCEMENT

REFERENCE STANDARDS: Conform to:

- ACI 301-10 "Standard Specifications for Structural Concrete", Section 3 "Reinforcement and Reinforcement Supports."
- ACI SP-66(04) "ACI Detailing Manual"
- CRSI MSP-09, 28th Edition, "Manual of Standard Practice."
- ANSI/AWS D1.4: 2005, "Structural Welding Code - Reinforcing Steel."
- IBC Chapter 19-Concrete.
- ACI 318-14 "Building Code Requirements for Structural Concrete."
- ACI 117-10 "Specifications for Tolerances for Concrete Construction and Materials"
- ACI 332-14 "Residential Code Requirements for Structural Concrete".

SUBMITTALS: Conform to ACI 301 Section 3.1.1 "Submittals." Submit placing drawings showing fabrication dimensions and placement locations of reinforcement and reinforcement supports.

MATERIALS:

Reinforcing Bars ASTM A615, Grade 60, deformed bars.
 Bar Supports..... CRSI MSP-09, Chapter 3 "Bar Supports."
 Tie Wire..... 16 gage or heavier, black annealed.

FABRICATION: Conform to ACI 301, Section 3.2.2. "Fabrication", and ACI SP-66 "ACI Detailing Manual."

PLACING: Conform to ACI 301, Section 3.3.2 "Placing." Placing tolerances shall conform to ACI 117.

CONCRETE COVER: Conform to the following cover requirements unless noted otherwise in the drawings.

Concrete cast against earth3"
 Concrete exposed to earth or weather2"
 Bars in walls¾"

SPLICES: Conform to ACI 301, Section 3.3.2.7, "Splices". Refer to "Typical Lap Splice and Development Length Schedule" for typical reinforcement splices.

FIELD BENDING: Conform to ACI 301 Section 3.3.2.8. "Field Bending or Straightening." Bar sizes #3 through #5 may be field bent cold the first time. Subsequent bends and other bar sizes require preheating. Do not twist bars. Bars shall not be bent past 45 degrees.

WOOD FRAMING

REFERENCE STANDARDS: Conform to:

- IBC Chapter 23 "WOOD"
- NDS - 2015 National Design Specification (NDS) for Wood Construction"
- ANSI/AF&PA - SDPWA-15: Special Design Provisions for Wind and Seismic
- APA D510C-12 Plywood Design Specification
- ANSI/TPI 1-2014 "National Design Standard for Metal-Plate-Connected Wood Truss Construction"
- BCSI "Guide to Good Practice for Handling, Installing & Bracing of Metal Plated Connected Wood Trusses"
- TPI DSB "Recommended Design Specification for Temporary Bracing of Metal Plate Connected Wood Trusses"
- APA Report TT-045B "Minimum Nail Penetration for Wood Structural Panel Connections Subject to Lateral Loads"

SUBMITTALS: Submit shop drawings to the Architect/Engineer for review. Shop drawings shall include member size, spacing, camber, material type, grade, shop and field assembly details and connections, types and location of bolts and other fasteners. Supply shop drawings for the following:

- Glued laminated members
- Cross Laminated Timber Panels

Glued Laminated Timber: Conform to AITC 117-2010 "Standard Specifications for Structural Glue-laminated Timber of Softwood Species, Manufacturing and Design" and ANSI/AITC A190.1 "Structural Glued Laminated Timber." Camber all glued laminated beams, except cantilevered and continuous beams, to 3000' radius, unless shown otherwise on the plans. Fabricate cantilevered and continuous beams flat, unless shown otherwise on plans.

TABLE OF GLULAM AND GRADE

Member	Sizes	Species	Comb. Symbol	Uses
--------	-------	---------	--------------	------

Beams	All	DF/DF	24F-V4	Simple Spans
Beams	All	DF/DF	24F-V8	Continuous or with Cantilever Spans

- Timber Connectors:** Shall be "Strong Tie" by Simpson Company as specified in their latest catalog. Alternate connectors by other manufacturers may be substituted provided they have current ICC approval for equivalent or greater load capacities and are reviewed and approved by the SER prior to ordering. Connectors shall be installed per the manufacturer's instructions. Where connector straps connect two members, place one-half of the nails or bolts in each member. Where straps are used as hold-downs, nail straps to wood framing just prior to drywall application, as late as possible in the framing process to allow the wood to shrink and the building to settle. Premature nailing of the strap may lead to strap buckling and potential finish damage.

Where connectors are in exposed exterior applications in contact with preservative treated wood (PT) other than CCA, connectors shall be either batch hot-dipped galvanized (HDG), mechanically galvanized (ASTM B695, Class 55 minimum) stainless steel, or provided with 1.85 oz/sf of zinc galvanizing equal to or better than Simpson ZMAX finish.

- Fasteners** (nails, bolts, screws, etc) attaching timber connectors (joist hangers, post caps and bases, etc) to PT wood shall have similar corrosion resistance properties (matching protective treatments) as the protected connector. Fasteners (nails, bolts, screws, etc) attaching sawn timber members or sheathing (shear walls) to PT wood shall be corrosion resistant; nails and lag bolts shall be either HDG (ASTM A153) or stainless steel. Verify the suitability of the fastener protection/coating with the wood treatment chemical manufacturer/supplier.

Provide washers under the heads and nuts of all bolts and lag screws bearing on wood.

Cross Laminated Timber (CLT): All work is to conform to ANSI/APA PRG 320-2012 "Standard for Performance-Rated Cross-Laminated Timber". CLT panels are to be provided by Structurlam or another product which is equivalent if not better and who has an applicable ICC-ESR report which rates their product for in-plane shear strength. The panel surface is to be in accordance with the architectural requirements. Suggestions to the contractor on best practices to protect the CLT panels are listed below in STORAGE & HANDLING. Submit shop drawings showing all applicable details and material specifications to the Engineer for review prior to fabrication. All cuts and drills to be shown on shop drawings and to be approved by EOR prior to fabrication.

TABLE of Cross Laminated Timber and GRADE

Member	THICKNESS	GRADE	Major Direction				Minor Direction			
			FbSeff, 0 (lb-ft/ft)	Eleff, 0 (10 ³ lb-ft/in ² /ft)	GAeff, 0 (10 ⁵ lb/ft)	Vr, 0 (lb/ft)	FbSeff, 90 (lb-ft/ft)	Eleff, 90 (10 ³ lb-ft/in ² /ft)	GAeff, 90 (10 ⁵ lb/ft)	Vr, 90 (lb/ft)
5 PLY (Wall)	3.90"	V2M1	1,800	79	0.49	1,340	280	3.7	0.52	495
5 PLY (Floor)	6.66"	V2M1	4,275	321	1.0	1,860	2,410	96	1.0	1,440

NAILING REQUIREMENTS: Conform to IBC Section 2304.10 "Connections and fasteners." Unless noted on plans, nail per Table 2304.10.1. Nailing for roof/floor diaphragms/shear walls shall be per drawings. Nails shall be driven flush and shall not fracture the surface of sheathing. Alternate nails may be used but are subject to review and approval by the Structural Engineer. Substitution of staples for the nailing of rated sheathing is subject to review by the structural engineer prior to construction.

STANDARD LIGHT-FRAME CONSTRUCTION: Unless noted on the plans, construction shall conform to IBC Section 2308 "Conventional Light-Frame Construction."

WOOD SHRINKAGE AND EXPANSION: Wood materials will expand or contract based on relative changes in moisture. The contractor is responsible for means and methods of construction related to mitigating and managing the effects of changes in moisture.

MOISTURE CONTENT: Wood material used for this project shall have maximum moisture content of 19% except for the pressure-treated wood sill plate. Refer to TESTING & INSPECTIONS for the verification of these limits. The maximum moisture content required may be less than 19% when based on a particular cladding/insulation system. Refer to the Architect's drawings, and project specifications, or with cladding installer for maximum recommended moisture content.

PRESERVATIVE TREATMENT (PT): Wood materials that are required to be "treated wood" in accordance with IBC Section 2304.12. "Protection Against Decay and Termite Protection" shall conform to the appropriate standards of the American Wood-Preservers Association (AWPA) for sawn lumber, glued laminated timber, round poles, wood piles and marine piles. Follow American Lumber Standards Committee (ALSC) quality assurance procedures. Products shall bear the appropriate mark. Fasteners or anchors in treated wood shall be of stainless steel or hot-dipped galvanized or as per IBC 2304.10.5.

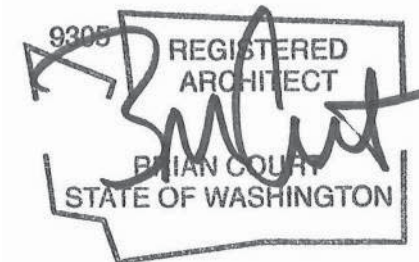
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Issue Date: JANUARY 12, 2021
 Drawn: _____ Author
 Checked: _____ Checker
 MJH Project No.: H94.008817

REVISIONS

No.	Description	Date

STAMP



CONSULTANT



Matt's Place Spokane 1+

1116 East Francis Avenue | Spokane, WA 99208

PERMIT SUBMITTAL
 JANUARY 12, 2021

ARCHITECT

The Miller Hull Partnership, LLP
 Architecture and Planning
 Polson Building
 71 Columbia, Sixth Floor
 Seattle, WA 98104



SHEET

STRUCTURAL
 GENERAL
 NOTES
G-005

**TOPOGRAPHIC SURVEY
MATT'S PLACE FOUNDATION
LOT 3, BLOCK 1, LANCASTERS SECOND ADDITION
IN THE NE 1/4 S. 32, T. 26 N., R. 43 E., W.M.
SPOKANE, SPOKANE COUNTY, WA.**

NOTES:

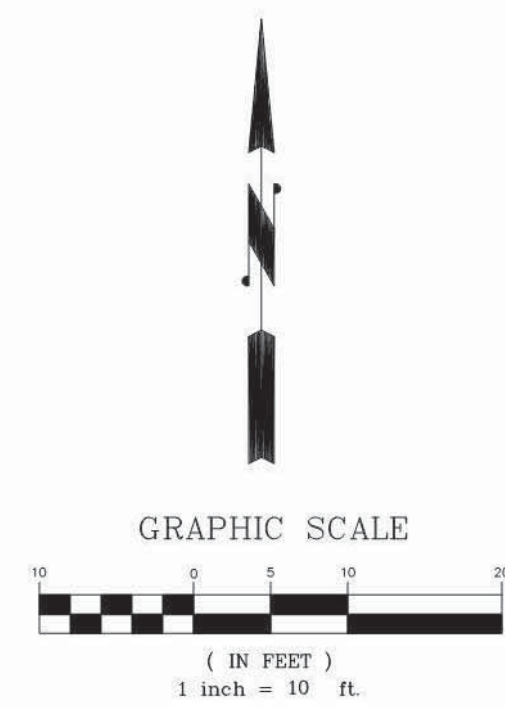
1. THIS SURVEY WAS PERFORMED IN JULY, 2020 BY STANDARD FIELD TRAVERSE METHODS, USING A LEICA GS16, (GPS GNSS RECEIVER).
2. THIS SURVEY DOES NOT PURPORT TO SHOW ALL EASEMENTS, RESTRICTIONS, RESERVATIONS, PROVISIONS, COVENANTS OR CONDITIONS WHICH MAY AFFECT THE LAND SHOWN HEREON.
3. THIS IS NOT A BOUNDARY SURVEY.
4. THIS MAP REPRESENTS THE EXISTING CONDITIONS AS FOUND ON THE DATE(S) OF SURVEY: JULY, 2020.
5. VERTICAL DATUM: NAVD 88
6. BASIS OF ELEVATIONS: GPS WSRN NETWORK SPKN REGION
7. CONTOURS AND SURFACE FEATURES ARE DERIVED FROM DIRECT FIELD OBSERVATIONS. CONTOUR ACCURACY 1/2 CONTOUR INTERVAL AS PER NATIONAL MAP ACCURACY STANDARDS. CONTOUR INTERVAL: 1 FOOT
8. UTILITIES SHOWN ON MAP ARE FROM UTILITY COMPANY LOCATES AND OBSERVATIONS IN THE FIELD.
9. THIS MAP PREPARED FOR SITE IMPROVEMENTS.

SITE LOCATION:

1116 E. FRANCIS, SPOKANE, WASHINGTON

LEGEND

- ASPHALT SURFACING
- CURB
- GRAVEL
- SIDEWALK OR CONCRETE
- POWER POLE
- LIGHT POLE
- WATER VALVE
- WATER METER
- SANITARY SEWER MANHOLE
- TREE (DECIDUOUS OR CONIFEROUS) AND DIAMETER
- WA WATER LINE
- SS SANITARY SEWER LINE
- OHP OVERHEAD POWER LINE
- BT BURIED TELEPHONE LINE
- 2060- CONTOURS
- X FENCE



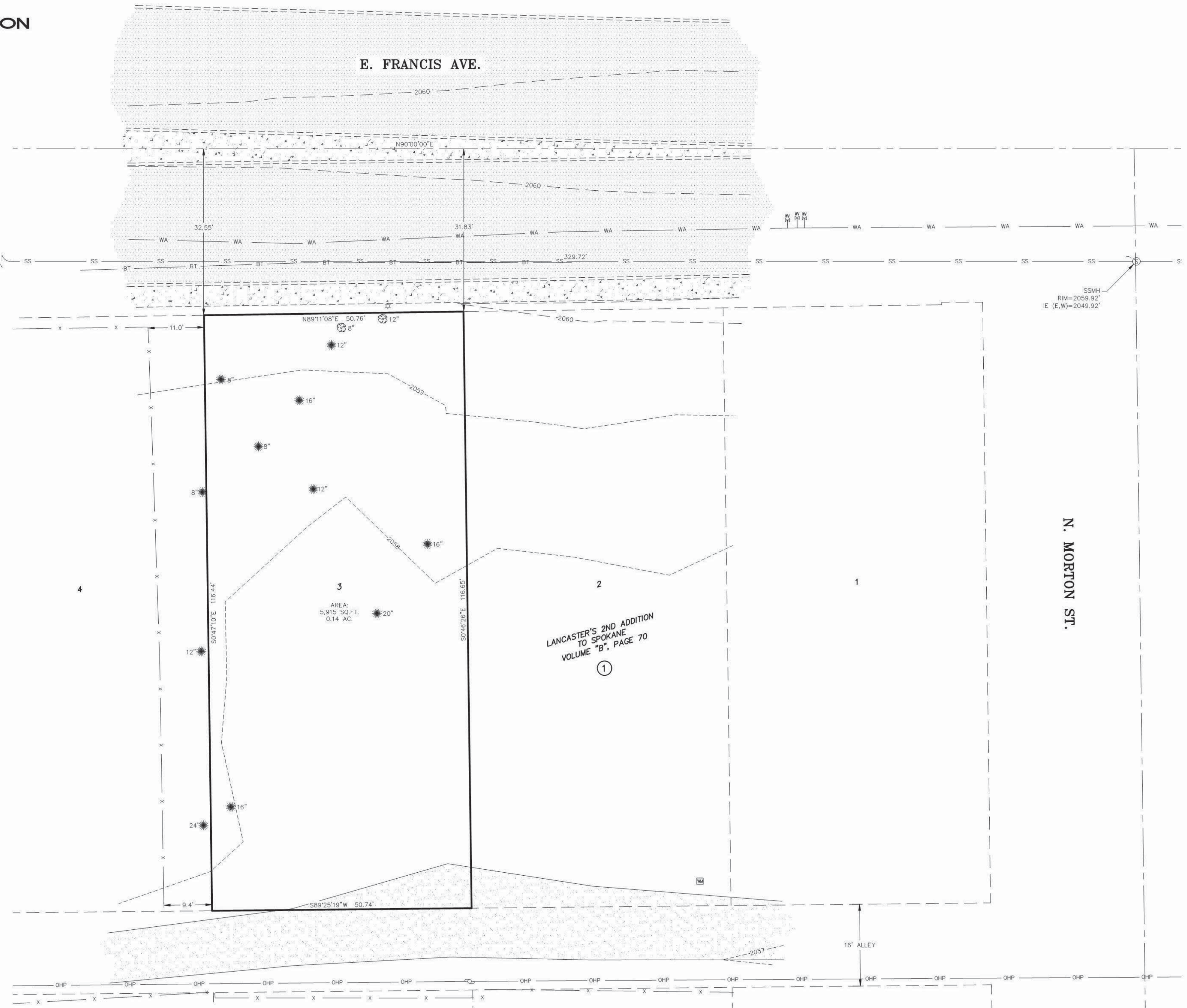
UTILITY DISCLAIMER:

ALL EXISTING UTILITIES SHOWN ON PLANS ARE TO BE VERIFIED HORIZONTALLY AND VERTICALLY PRIOR TO ANY CONSTRUCTION. ALL EXISTING FEATURES INCLUDING BURIED UTILITIES ARE SHOWN AS INDICATED ON RECORD MAPS AND SURVEYS FURNISHED BY OTHERS. WE ASSUME NO LIABILITY FOR THE ACCURACY OF THOSE RECORDS AND SURVEYS, FOR THE FINAL LOCATION OF EXISTING UTILITIES IN AREAS CRITICAL TO CONSTRUCTION CONTACT THE UTILITY OWNER/AGENCY.

**UNDERGROUND SERVICE ALERT
ONE-CALL NUMBER**

811

CALL TWO BUSINESS DAYS BEFORE YOU DIG



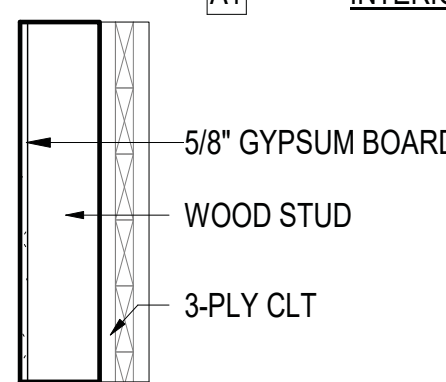
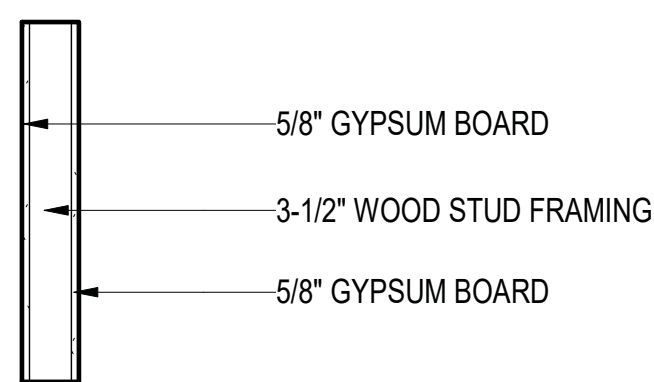
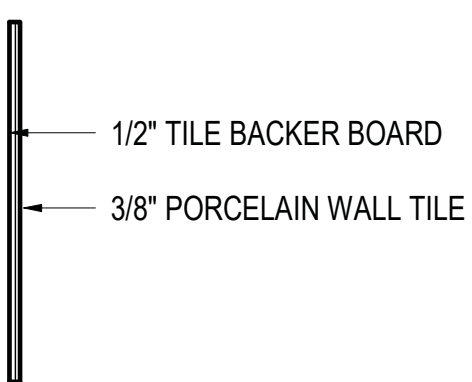
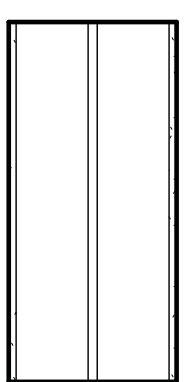
<p>HOLT SURVEYING AND MAPPING, INC. PROFESSIONAL LAND SURVEY SERVICES</p> <p>TAPIO OFFICE CENTER, 104 S. FREYA BLUE FLAG BUILDING SUITE 104A, SPOKANE, WA 99202 (509) 222-0468 rickholsurveying@gmail.com</p>	<p>PROJECT</p> <p>TOPOGRAPHIC SURVEY MATT'S PLACE FOUNDATION LOT 3, BLOCK 1, LANCASTERS SECOND ADDITION IN THE NE 1/4 S. 32, T. 26 N., R. 43 E., W.M. SPOKANE, SPOKANE COUNTY, WA.</p>	<p>SCALE: 1"=10'</p> <p>DRAWN BY: B. O'BRYAN</p> <p>CHECKED BY: R. HOLT</p> <p>FIELD BOOK:</p> <p>DATE: 08/04/2020</p>	<p>SHEET DESCRIPTION</p> <p align="center">EXISTING SITE CONDITIONS</p>	<p>JOB NO. 20052</p> <p>DRAWING NO. 20052 BM.DWG</p> <p>SHEET 1 OF 1</p>
	<p>UTILITY DISCLAIMER:</p> <p>ALL EXISTING UTILITIES SHOWN ON PLANS ARE TO BE VERIFIED HORIZONTALLY AND VERTICALLY PRIOR TO ANY CONSTRUCTION. ALL EXISTING FEATURES INCLUDING BURIED UTILITIES ARE SHOWN AS INDICATED ON RECORD MAPS AND SURVEYS FURNISHED BY OTHERS. WE ASSUME NO LIABILITY FOR THE ACCURACY OF THOSE RECORDS AND SURVEYS, FOR THE FINAL LOCATION OF EXISTING UTILITIES IN AREAS CRITICAL TO CONSTRUCTION CONTACT THE UTILITY OWNER/AGENCY.</p>			

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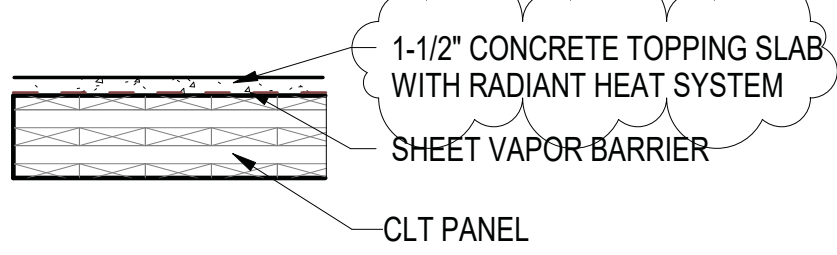
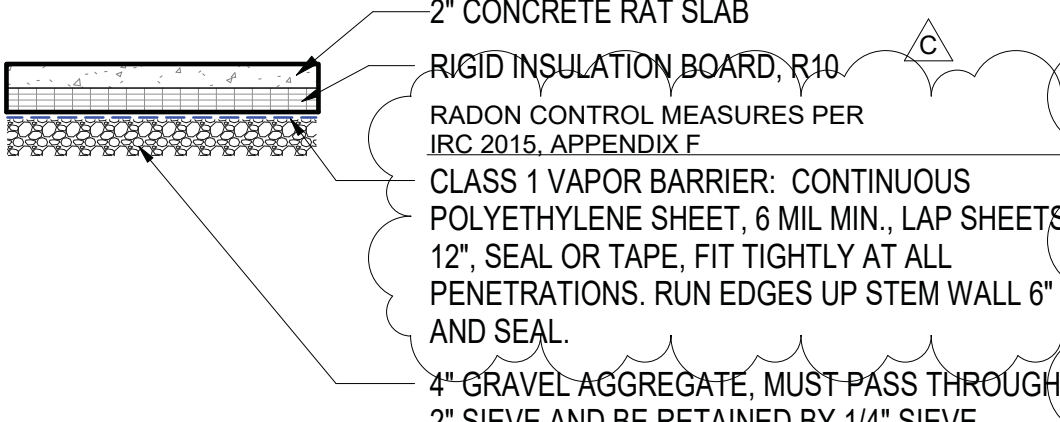
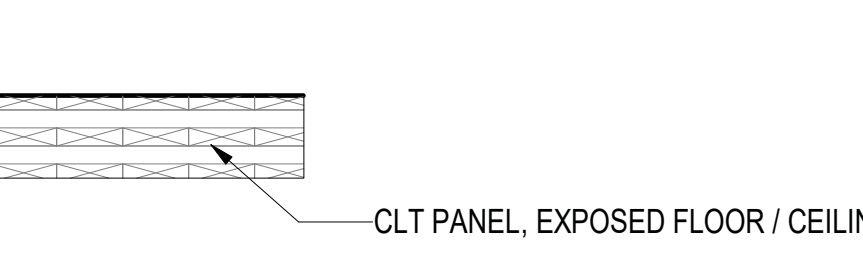
<p>CHECKED</p> <p>Issue Date: <u>JANUARY 12, 2021</u></p> <p>Drawn: _____ Author</p> <p>Checked: _____ Checker</p> <p>MJH Project No.: <u>H94.008817</u></p>	<p>REVISIONS</p> <table border="1"> <thead> <tr> <th>No.</th> <th>Description</th> <th>Date</th> </tr> </thead> <tbody> <tr> <td>NEW</td> <td>SUBMIT RESUBMITTAL</td> <td>01/12/2021</td> </tr> </tbody> </table>	No.	Description	Date	NEW	SUBMIT RESUBMITTAL	01/12/2021	<p>STAMP</p>	<p>CONSULTANT</p>	<p>Matt's Place Spokane 1+</p> <p>1116 East Francis Avenue Spokane, WA 99208</p> <p>PERMIT SUBMITTAL</p> <p>JANUARY 12, 2021</p>	<p>ARCHITECT</p> <p>The Miller Hull Partnership, LLP Architecture and Planning Polson Building 71 Columbia, Sixth Floor Seattle, WA 98104</p> <p>Phone 206.682.6837 Fax 206.682.5692</p>	<p>SHEET</p> <p align="center">SITE SURVEY</p> <p align="center">V-101</p>
No.	Description	Date										
NEW	SUBMIT RESUBMITTAL	01/12/2021										

REVISED 1/14/2021 B1921045

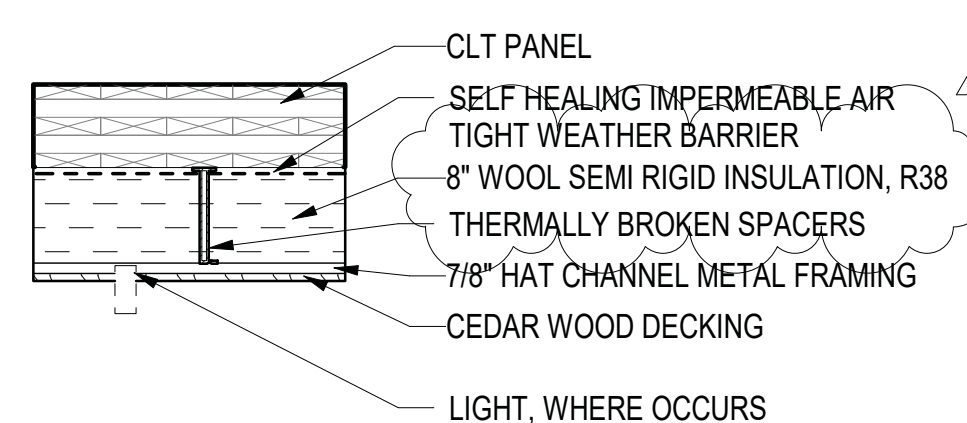
INTERIOR PARTITION ASSEMBLIES

SECTION	MARK	DESCRIPTION	RATING	SECTION	MARK	DESCRIPTION	RATING	SECTION	MARK	DESCRIPTION	RATING	SECTION	MARK	DESCRIPTION	RATING
	A0	INTERIOR CLT PARTITION - 1 1/2" WD STUD	NON RATED		A2	INTERIOR STUD WALL	NON RATED		A3	INTERIOR SHOWER WALL	NON RATED		SW1	INTERIOR SMART WALL	NON RATED
	A1	INTERIOR CLT PARTITION - 5 1/2" WD STUD	NON RATED		A3	INTERIOR SHOWER WALL	NON RATED								

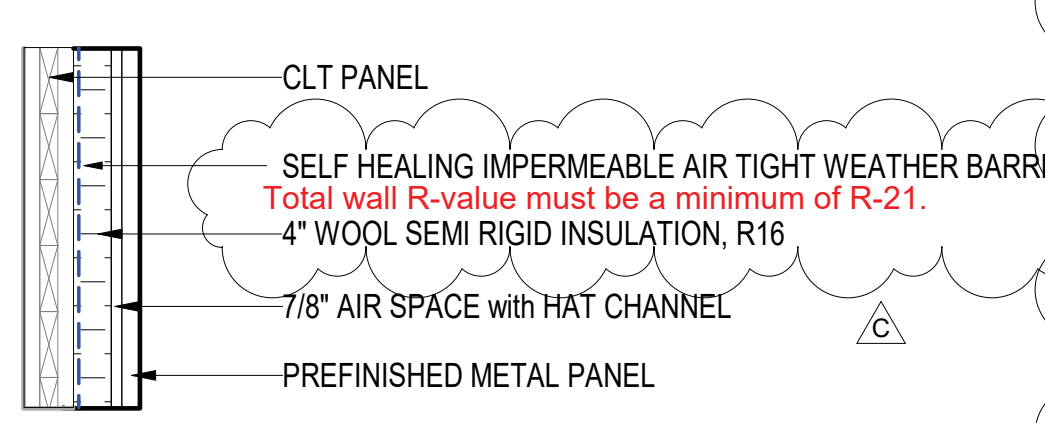
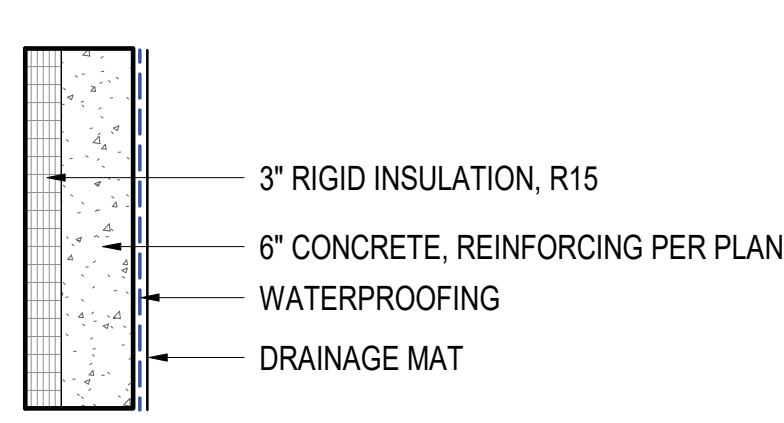
FLOOR ASSEMBLIES

SECTION	MARK	DESCRIPTION	RATING	SECTION	MARK	DESCRIPTION	RATING	SECTION	MARK	DESCRIPTION	RATING
	F1	5 Ply CLT FLOOR PROPOSED U VALUE = N/A	NON RATED		F2	RAT SLAB OVER RIGID INSULATION PROPOSED U VALUE = N/A F VALUE = 0.36	NON RATED		F3	5 Ply CLT FLOOR PROPOSED U VALUE = N/A	NON RATED
	F1	5 Ply CLT FLOOR PROPOSED U VALUE = N/A	NON RATED		F2	RAT SLAB OVER RIGID INSULATION PROPOSED U VALUE = N/A F VALUE = 0.36	NON RATED		F3	5 Ply CLT FLOOR PROPOSED U VALUE = N/A	NON RATED

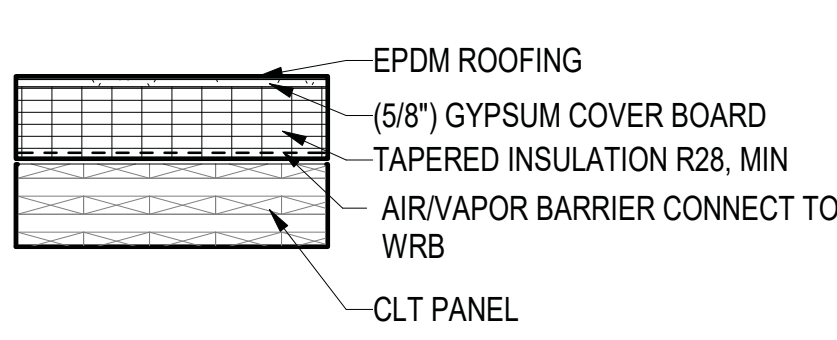
SOFFIT/CEILING ASSEMBLIES

SECTION	MARK	DESCRIPTION	RATING
	S1	5-Ply CLT SOFFIT PROPOSED U VALUE = .026	NON RATED
	S1	5-Ply CLT SOFFIT PROPOSED U VALUE = .026	NON RATED

EXTERIOR WALL ASSEMBLIES

SECTION	MARK	DESCRIPTION	RATING	SECTION	MARK	DESCRIPTION	RATING
	W1	3-Ply CLT WALL PROPOSED U VALUE = .042	NON RATED		W2	BELOW GRADE CONCRETE WALL PROPOSED U VALUE = N/A	NON RATED
	W1	3-Ply CLT WALL PROPOSED U VALUE = .042	NON RATED		W2	BELOW GRADE CONCRETE WALL PROPOSED U VALUE = N/A	NON RATED

ROOF ASSEMBLIES

SECTION	MARK	DESCRIPTION	RATING
	R1	5-Ply CLT ROOF w TAPERED INSULATION PROPOSED U VALUE = .026	NON RATED
	R1	5-Ply CLT ROOF w TAPERED INSULATION PROPOSED U VALUE = .026	NON RATED

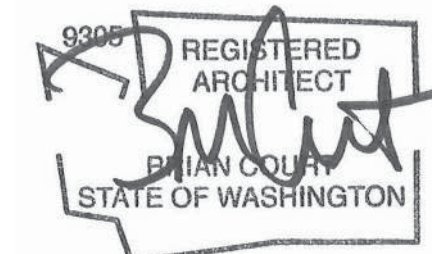
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REVISIONS

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CONSULTANT

No.	Description	Date
C	PERMIT RESUBMITTAL	1/12/21



Issue Date: JANUARY 12, 2021
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 MJH Project No.: H94.008817

Matt's Place Spokane 1+

1116 East Francis Avenue | Spokane, WA 99208

PERMIT SUBMITTAL
 JANUARY 12, 2021

ARCHITECT

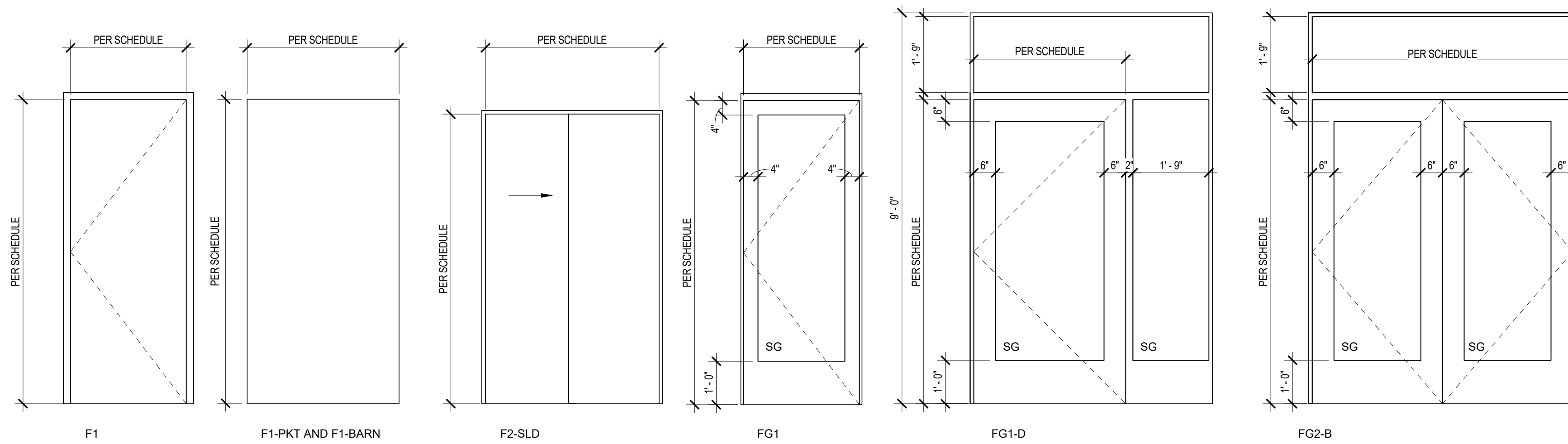
The Miller Hull Partnership, LLP
 Architecture and Planning
 Polson Building
 71 Columbia, Sixth Floor
 Seattle, WA 98104

SHEET



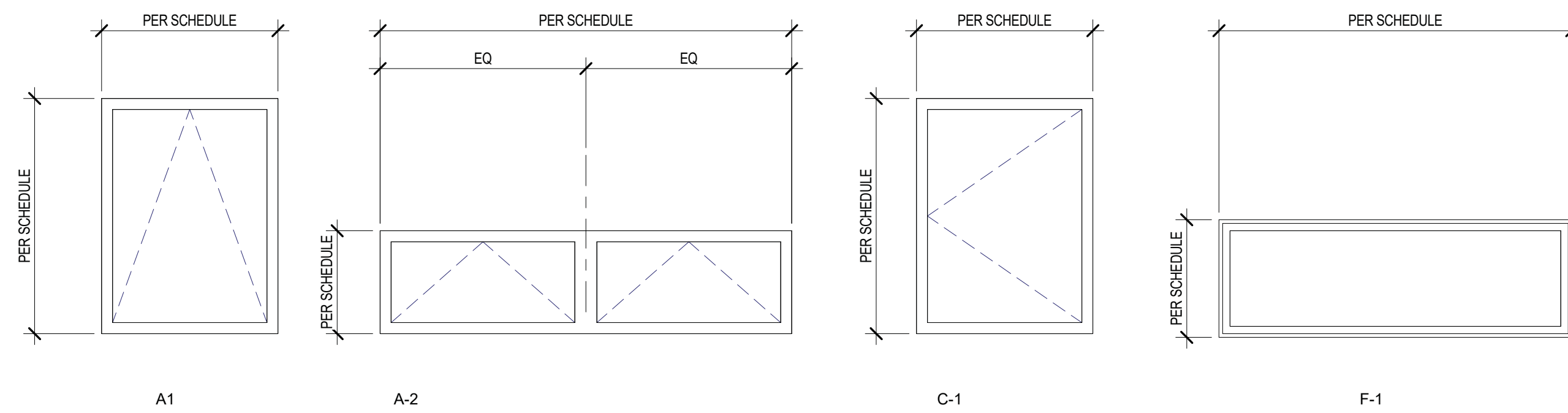
ASSEMBLIES
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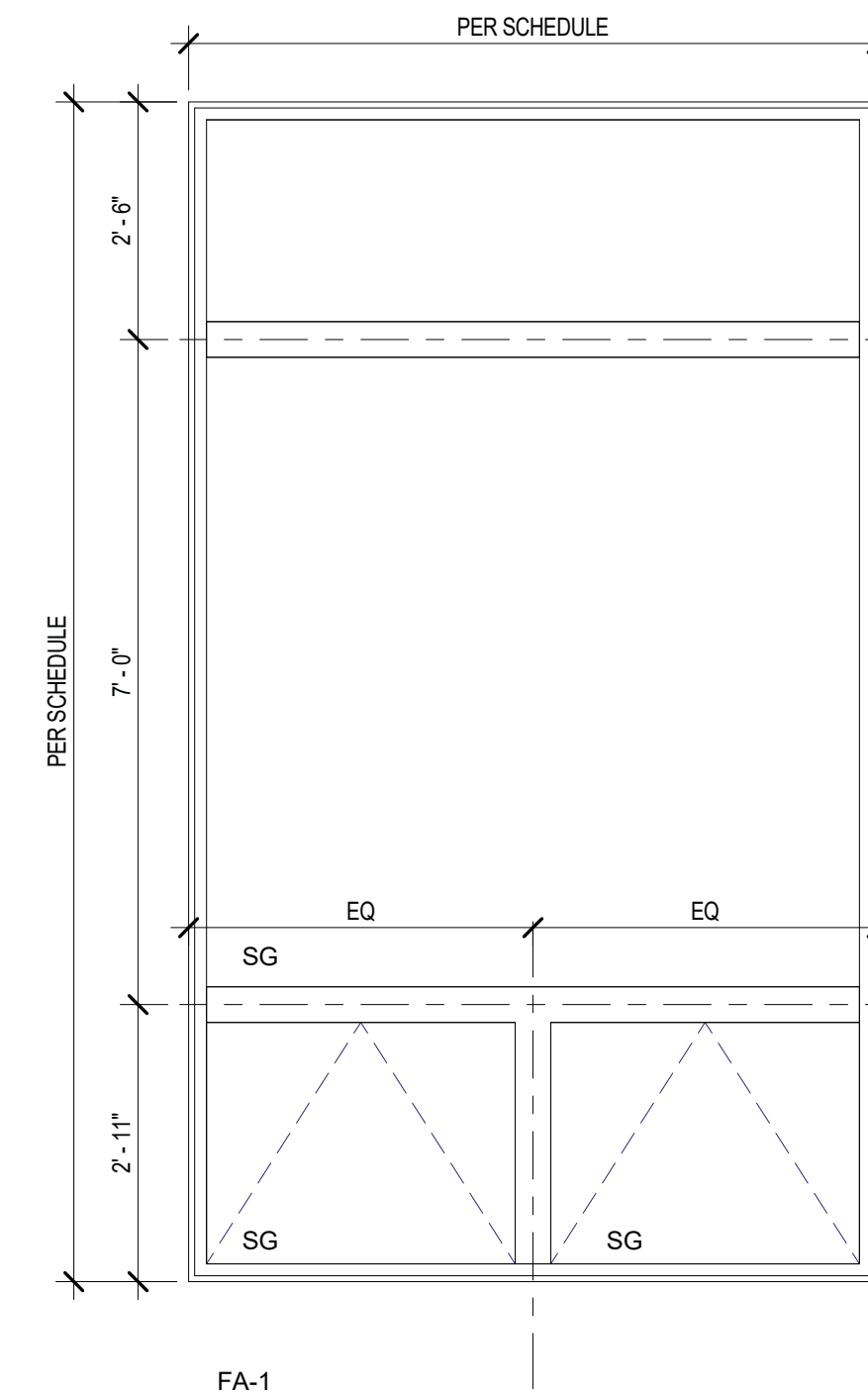


DOOR TYPES

DOOR NO.	MH Door Type	MH Door Material	DOOR		MH Door Frame Material	Door Area	Comments
			WIDTH	HEIGHT			
101	FG1-D	WD	3' - 6"	7' - 0"	WD	25 SF	EXTERIOR DOOR, U.29
102	FG2-C	WD	6' - 0"	7' - 0"	WD	42 SF	EXTERIOR DOOR, U.29
103	FG2-C	WD	6' - 0"	7' - 0"	WD	42 SF	EXTERIOR DOOR, U.29
104	FG2-C	WD	6' - 8"	7' - 0"	WD	47 SF	EXTERIOR DOOR, U.29
105	F2-SLD	WD	4' - 0"	6' - 8"	WD	27 SF	
106	F2-SLD	WD	4' - 0"	6' - 8"	WD	27 SF	
109	F1-BARN	WD	3' - 0"	7' - 2"	WD	22 SF	
110	F1	WD	2' - 8"	7' - 0"	WD	19 SF	
117	F1-PKT	WD	3' - 6"	7' - 0"	WD	25 SF	
201	FG1	WD	2' - 8"	7' - 0"	WD	19 SF	EXTERIOR DOOR, U.29
202	F1	WD	2' - 8"	7' - 0"	WD	19 SF	
203	F1	WD	2' - 8"	7' - 0"	WD	19 SF	
204	F1	WD	2' - 8"	7' - 0"	WD	19 SF	
Grand total: 13						348 SF	



WINDOW TYPES

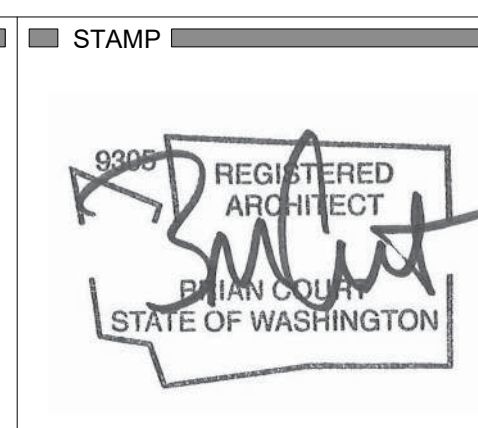


Mark	Type Mark	R.O.		Window Area	Safety Glass	Comments
		Width	Height			
W01	A-2	7' - 0"	1' - 9"	12 SF		AWNING, U: .26, SHGC: .27, VT: 50
W02	F-1	7' - 0"	7' - 0"	49 SF	X	FIXED, U: .25, SHGC: .29, VT: 55
W03	A-2	7' - 0"	1' - 9"	12 SF		AWNING, U: .26, SHGC: .27, VT: 50
W04	F-1	7' - 0"	7' - 0"	49 SF	X	FIXED, U: .25, SHGC: .29, VT: 55
W06	F-1	2' - 0"	6' - 0"	12 SF		FIXED, U: .24, SHGC: .30, VT: 57
W07	A-1	3' - 0"	2' - 6"	8 SF		AWNING, U: .26, SHGC: .27, VT: 50
W08	A-1	3' - 0"	2' - 6"	8 SF		AWNING, U: .26, SHGC: .27, VT: 50
W09	A-1	3' - 0"	4' - 0"	12 SF		AWNING, U: .26, SHGC: .27, VT: 50
W10	A-1	3' - 0"	4' - 0"	12 SF		AWNING, U: .26, SHGC: .27, VT: 50
W11	A-1	3' - 0"	4' - 0"	12 SF		AWNING, U: .26, SHGC: .27, VT: 50
W12	A-1	3' - 0"	4' - 0"	12 SF		AWNING, U: .26, SHGC: .27, VT: 50
W13	A-1	3' - 0"	4' - 0"	12 SF		AWNING, U: .26, SHGC: .27, VT: 50
W14	A-1	2' - 6"	4' - 0"	10 SF		AWNING, U: .26, SHGC: .27, VT: 50
W21	C-1	3' - 0"	4' - 0"	12 SF		CASEMENT, U: .26, SHGC: .27, VT: 50
W22	A-1	2' - 3"	4' - 0"	9 SF		AWNING, U: .26, SHGC: .27, VT: 50
W23	A-1	3' - 0"	4' - 0"	12 SF		AWNING, U: .26, SHGC: .27, VT: 50
W24	A-1	2' - 3"	4' - 0"	9 SF		AWNING, U: .26, SHGC: .27, VT: 50
W25	FA-1	7' - 3"	12' - 5"	90 SF	X	(2) FIXED, U: .25, SHGC: .29, VT: 55, (1) AWNING, U: .26, SHGC: .27, VT: 50, TOP UNIT DOES NOT NEED TO BE SAFETY GLASS
W26	C-1	2' - 6"	4' - 0"	10 SF		CASEMENT, U: .26, SHGC: .27, VT: 50
W27	F-1	5' - 0"	4' - 0"	20 SF		FIXED, U: .24, SHGC: .30, VT: 57
W28	C-1	3' - 0"	4' - 0"	12 SF		CASEMENT, U: .26, SHGC: .27, VT: 50
Grand total: 21				394 SF		

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C	PERMIT RESUBMITTAL	1/12/21



CONSULTANT

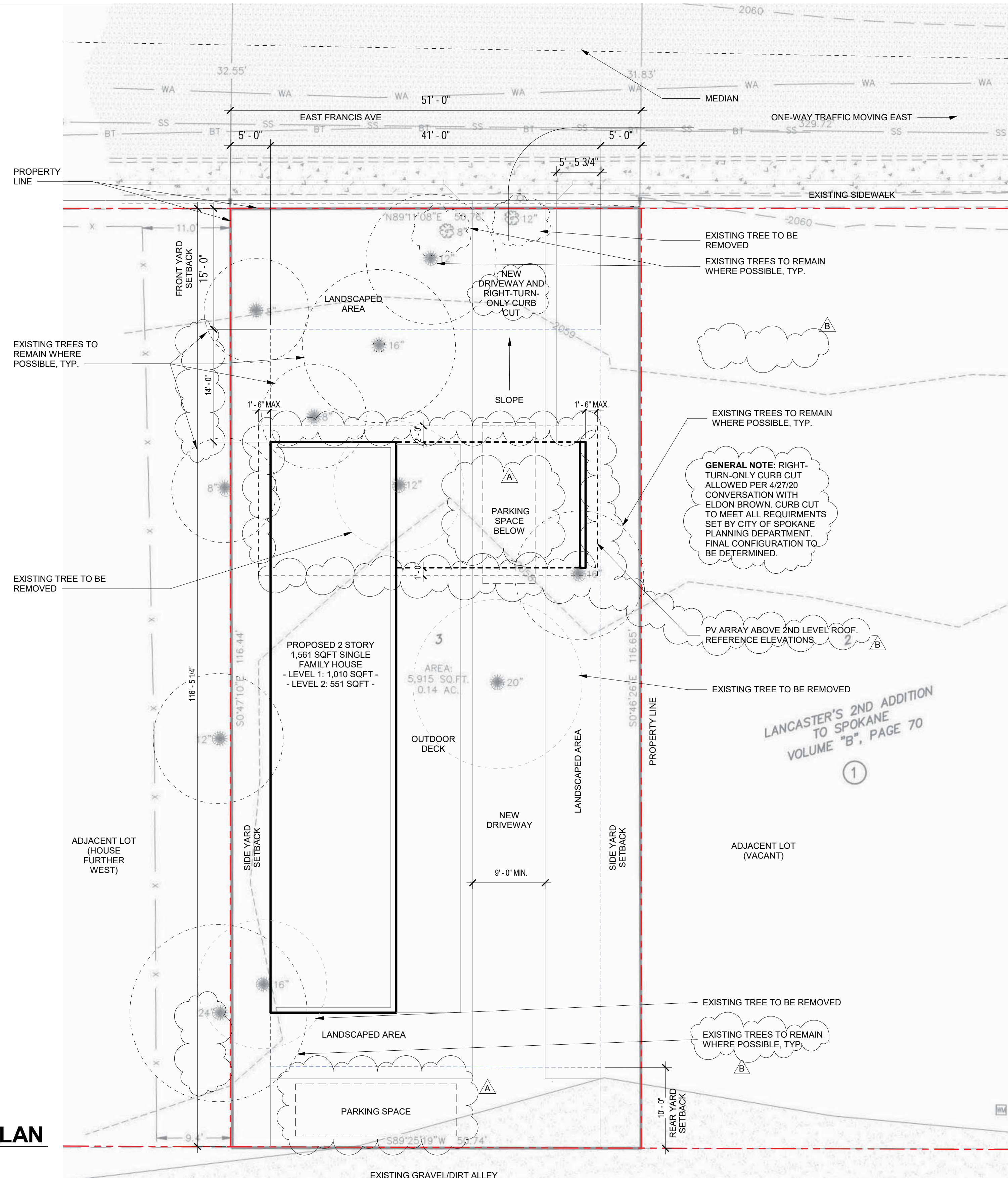
Matt's Place Spokane 1+
 1116 East Francis Avenue | Spokane, WA 99208
PERMIT SUBMITTAL
 JANUARY 12, 2021

ARCHITECT
 The Miller Hull Partnership, LLP
 Architecture and Planning
 Polson Building
 71 Columbia, Sixth Floor
 Seattle, WA 98104
 Phone 206.682.6837
 Fax 206.682.5892

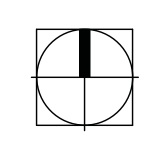


SHEET
SCHEDULES
A-003

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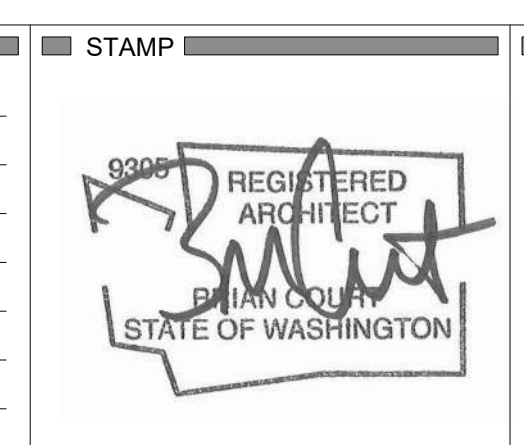


1 SITE PLAN
1/8" = 1'-0"



CHECKED _____
 REVISIONS
 No. Description Date
 A PERMIT REVISION 1 3/12/20
 B PERMIT REVISION 2 5/8/20
 Issue Date: JANUARY 12, 2021
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 MJH Project No.: H94.008817

No.	Description	Date
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B	PERMIT REVISION 2	5/8/20



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Matt's Place Spokane 1+
 1116 East Francis Avenue | Spokane, WA 99208
PERMIT SUBMITTAL
 JANUARY 12, 2021

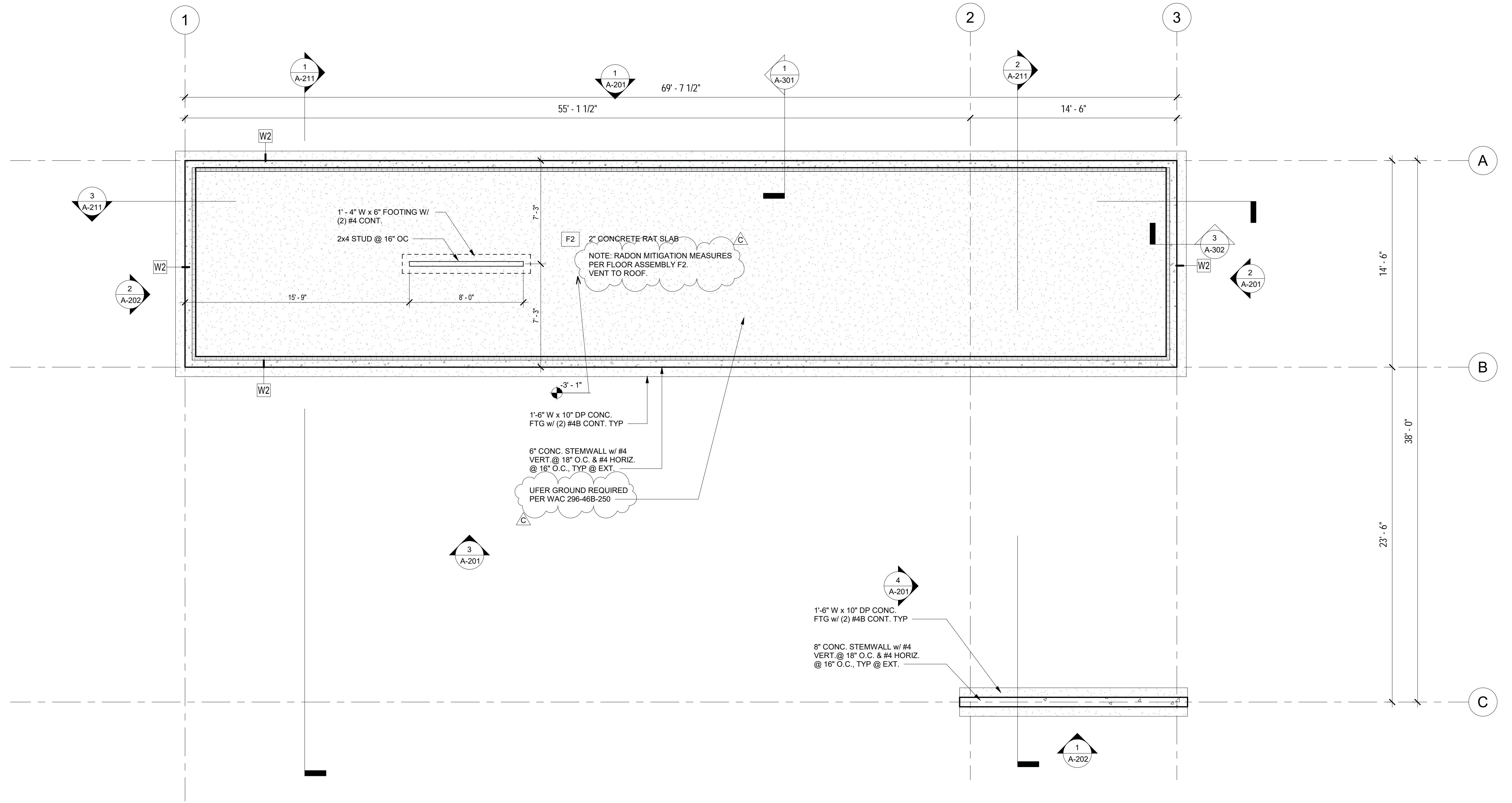
ARCHITECT
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 Seattle, WA 98104
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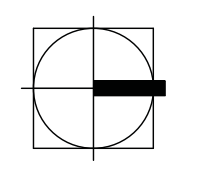
SHEET
SITE PLAN
A-091

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1 CRAWL SPACE PLAN
1/4" = 1'-0"



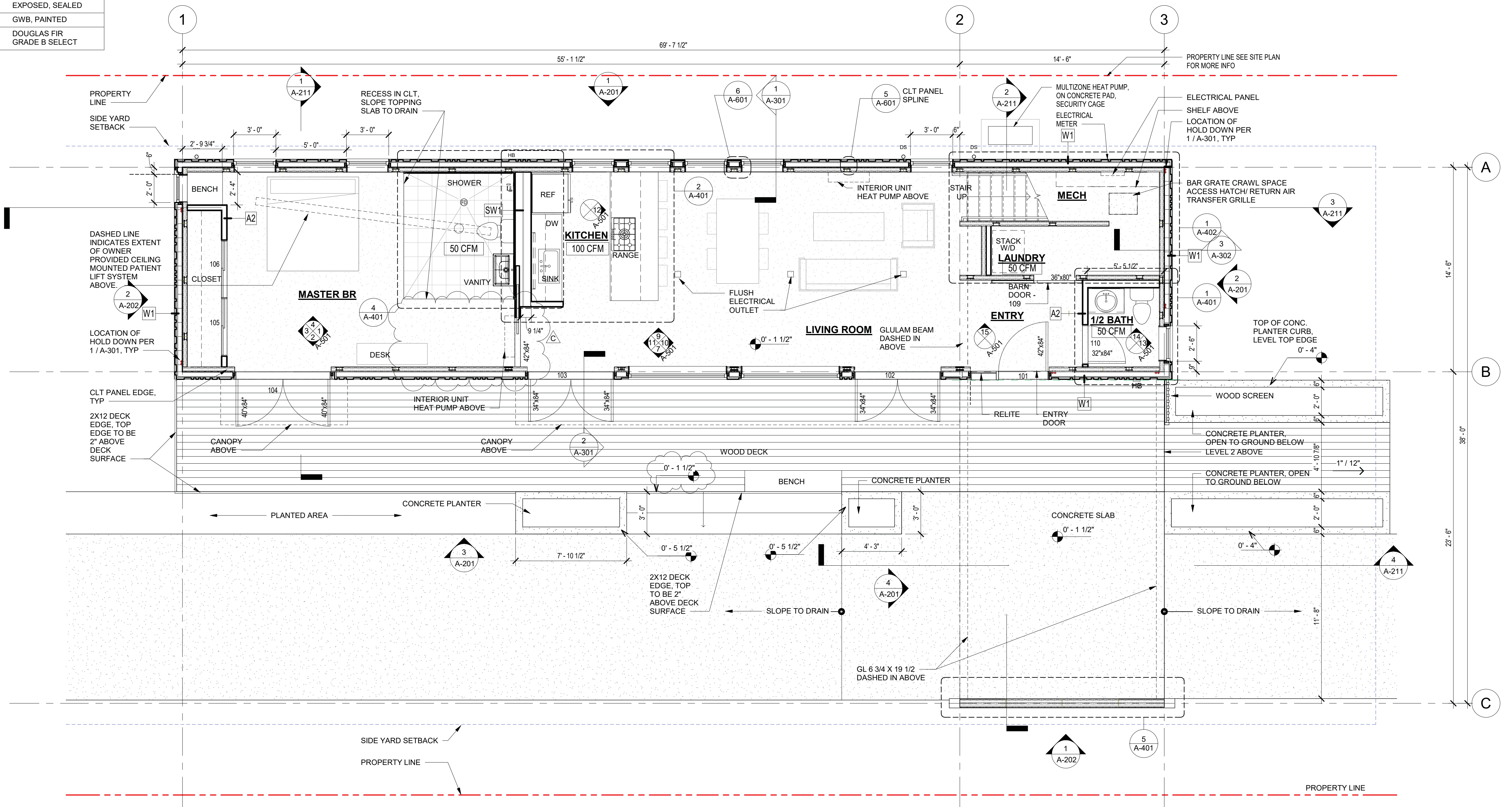
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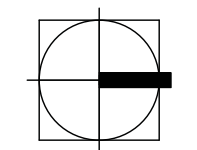
<p>CHECKED</p> <p>Issue Date: JANUARY 12, 2021</p> <p>Drawn: _____ Author</p> <p>Checked: _____ Checker</p> <p>MJH Project No.: H94.008817</p>	<p>REVISIONS</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>No.</th> <th>Description</th> <th>Date</th> </tr> </thead> <tbody> <tr> <td>C</td> <td>PERMIT RESUBMITTAL</td> <td>1/12/21</td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	No.	Description	Date	C	PERMIT RESUBMITTAL	1/12/21										<p>STAMP</p> <div style="display: flex; justify-content: space-around;">   </div>	<h2 style="margin: 0;">Matt's Place Spokane 1+</h2> <p style="margin: 0;">1116 East Francis Avenue Spokane, WA 99208</p> <p style="margin: 0;">PERMIT SUBMITTAL</p> <p style="margin: 0;">JANUARY 12, 2021</p>	<p>ARCHITECT</p> <p>The Miller Hull Partnership, LLP Architecture and Planning Polson Building 71 Columbia, Sixth Floor Seattle, WA 98104</p> <p>Phone 206.682.6837 Fax 206.682.5692</p> <div style="display: flex; justify-content: center; align-items: center;">  </div>	<p>SHEET</p> <p style="text-align: center;">FOUNDATION PLAN</p> <h1 style="text-align: center; margin: 0;">A-100</h1>
No.	Description	Date																		
C	PERMIT RESUBMITTAL	1/12/21																		

INTERIOR FINISHES

FLOORS	L1 FLOOR, INCL. BATHROOMS	CONCRETE
	L2 BATHROOM	TILE
	L2 HALLWAY, BEDROOMS	EXPOSED, SEALED CLT
CEILING	ALL CLT CEILINGS	EXPOSED, SEALED CLT
	CEILING UNDER STAIR	GWB, PAINTED
WALLS	WET WALLS AT KITCHEN, BATH	TILE
	NON-WET STUD WALLS AT KITCHEN, BATH	GWB, PAINTED
	CLT WALLS	EXPOSED, SEALED
	STUD FRAMED WALLS	GWB, PAINTED
	WINDOW AND DOOR TRIM	DOUGLAS FIR GRADE B SELECT



1 LEVEL 1 FLOOR PLAN
1/4" = 1'-0"



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MJH Project No.:	H94.008817

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C	PERMIT RESUBMITTAL	1/12/21

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CONSULTANT

Matt's Place Spokane 1+
 1116 East Francis Avenue | Spokane, WA 99208
PERMIT SUBMITTAL
 JANUARY 12, 2021

ARCHITECT

The Miller Hull Partnership, LLP
 Architecture and Planning
 Polson Building
 71 Columbia, Sixth Floor
 Seattle, WA 98104

Phone 206.682.6837
 Fax 206.682.5892

MILLER HULL

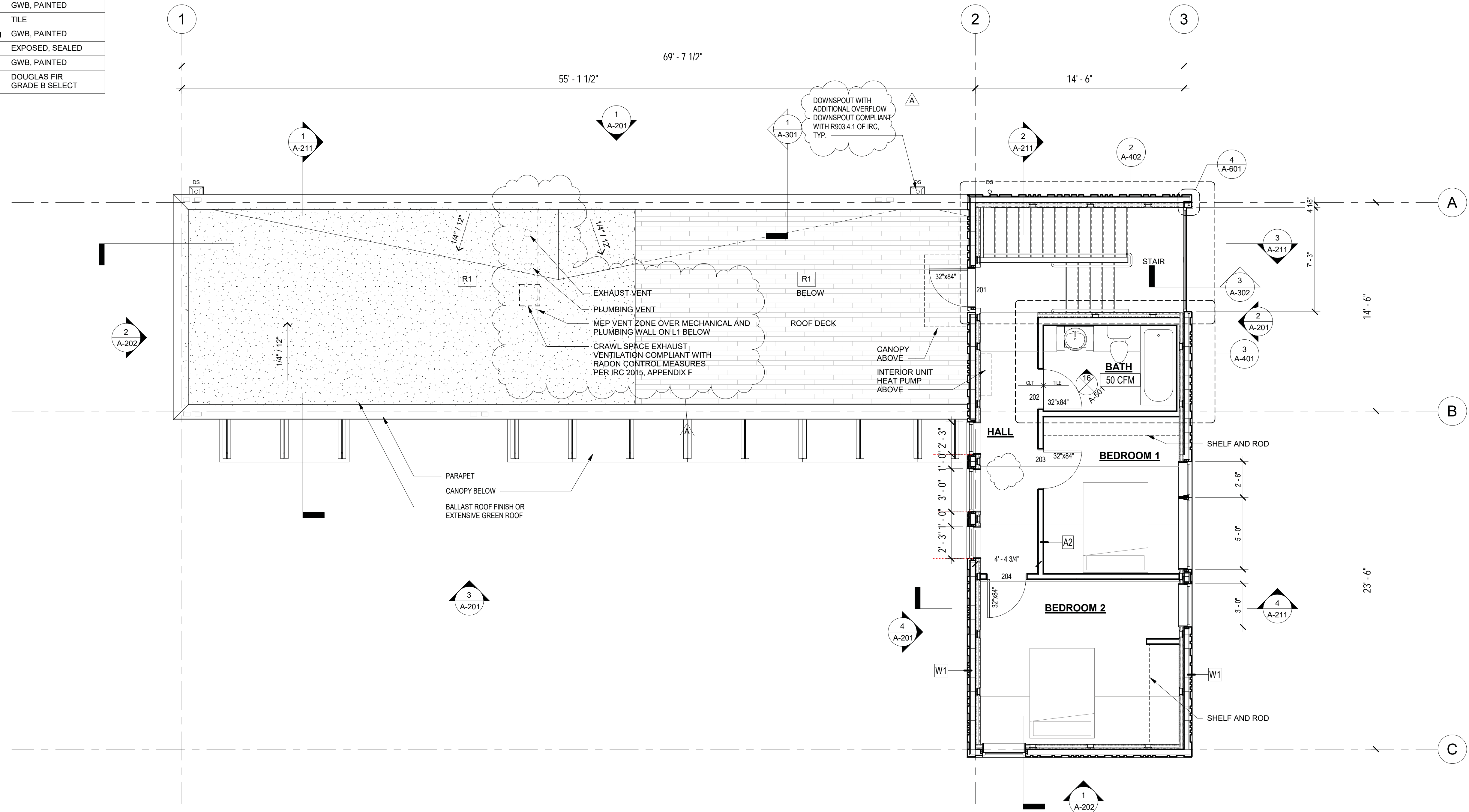
SHEET

LEVEL 1 FLOOR PLAN
A-101

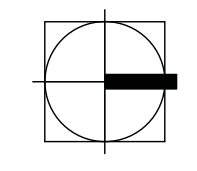
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INTERIOR FINISHES

FLOORS	L1 FLOOR, INCL. BATHROOMS	CONCRETE
	L2 BATHROOM	TILE
	L2 HALLWAY, BEDROOMS	EXPOSED, SEALED CLT
CEILINGS	ALL CLT CEILINGS	EXPOSED, SEALED CLT
	CEILING UNDER STAIR	GWB, PAINTED
WALLS	WET WALLS AT KITCHEN, BATH	TILE
	NON-WET STUD WALLS AT KITCHEN, BATH	GWB, PAINTED
	CLT WALLS	EXPOSED, SEALED
	STUD FRAMED WALLS	GWB, PAINTED
	WINDOW AND DOOR TRIM	DOUGLAS FIR GRADE B SELECT



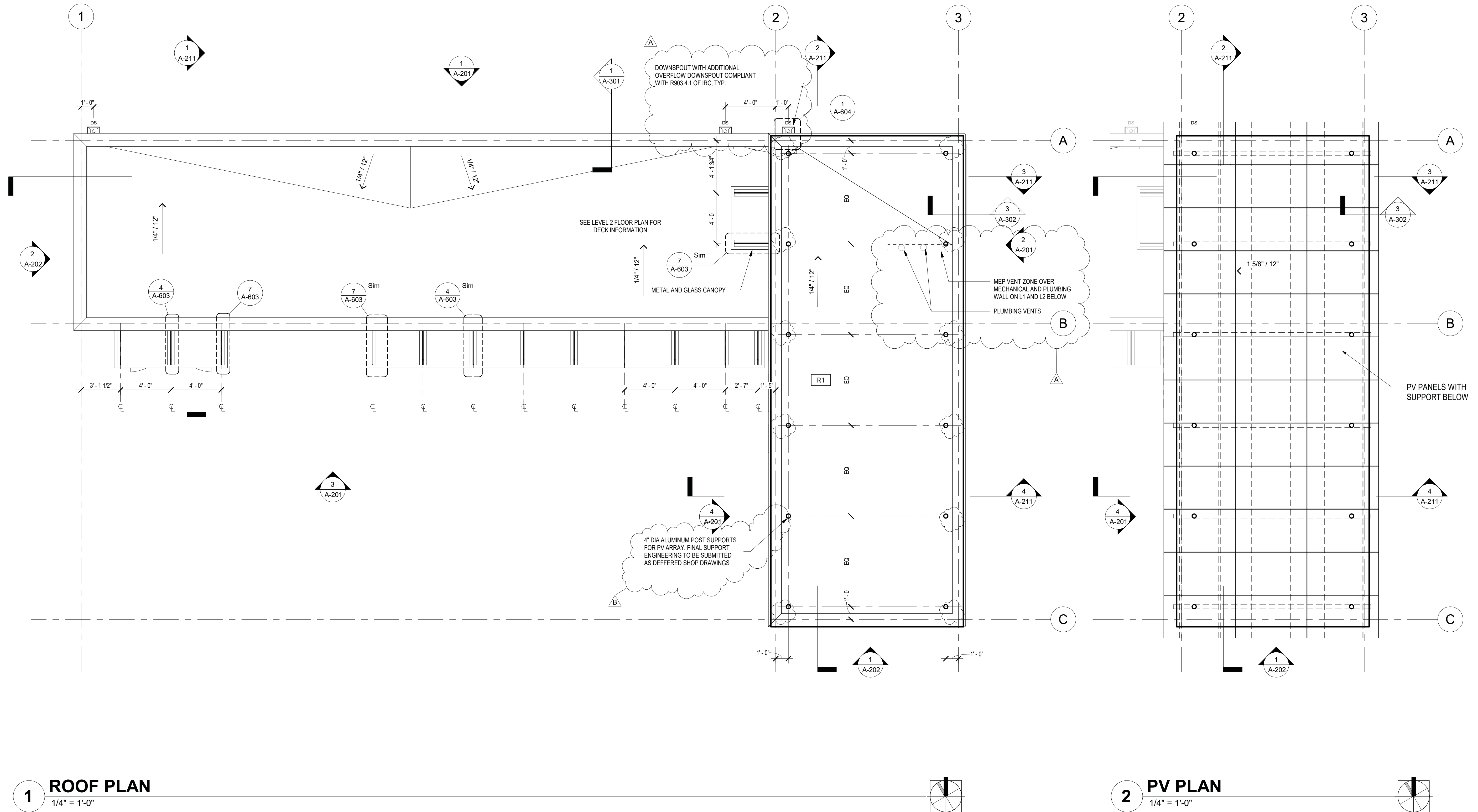
1 LEVEL 2 FLOOR PLAN
1/4" = 1'-0"



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No.	Description	Date												
A	PERMIT REVISION 1	3/12/20												
C	PERMIT RESUBMITTAL	1/12/21												

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1 ROOF PLAN
1/4" = 1'-0"

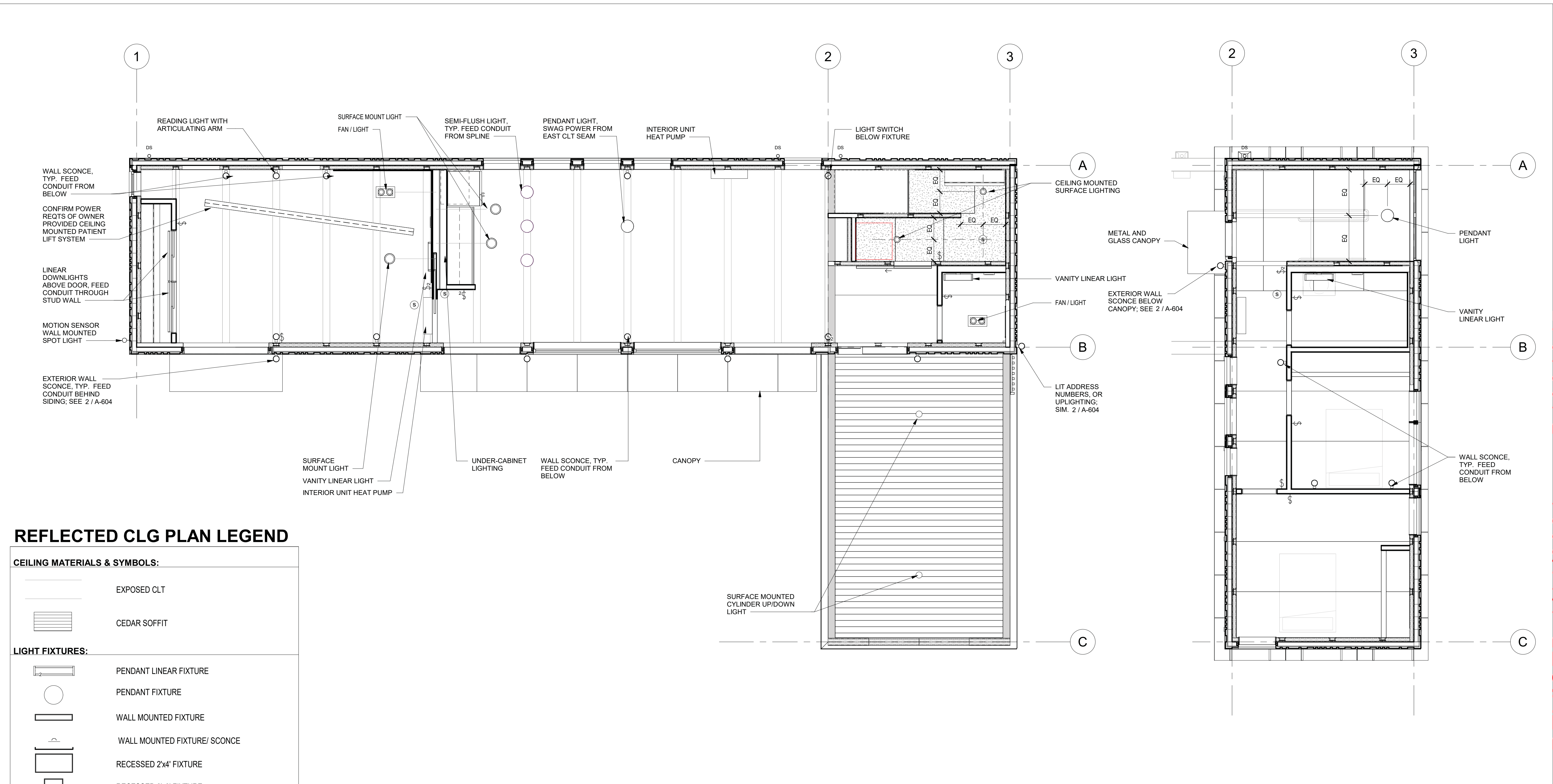
2 PV PLAN
1/4" = 1'-0"

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No.	Description	Date												
A	PERMIT REVISION 1	3/12/20												
B	PERMIT REVISION 2	5/8/20												

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REVISED 1/14/2021 B1921045



REFLECTED CLG PLAN LEGEND

CEILING MATERIALS & SYMBOLS:	
	EXPOSED CLT
	CEDAR SOFFIT
LIGHT FIXTURES:	
	PENDANT LINEAR FIXTURE
	PENDANT FIXTURE
	WALL MOUNTED FIXTURE
	WALL MOUNTED FIXTURE/ SCONCE
	RECESSED 2'x4' FIXTURE
	RECESSED 2'x2' FIXTURE
	RECESSED DOWNLIGHT
MECHANICAL & ELECTRICAL FIXTURES:	
	SMOKE DETECTOR
	ELECTRICAL SWITCH - SINGLE
	ELECTRICAL SWITCH - DUPLEX

1 LEVEL 1 REFLECTED CEILING PLAN
1/4" = 1'-0"

2 LEVEL 2 REFLECTED CEILING PLAN
1/4" = 1'-0"

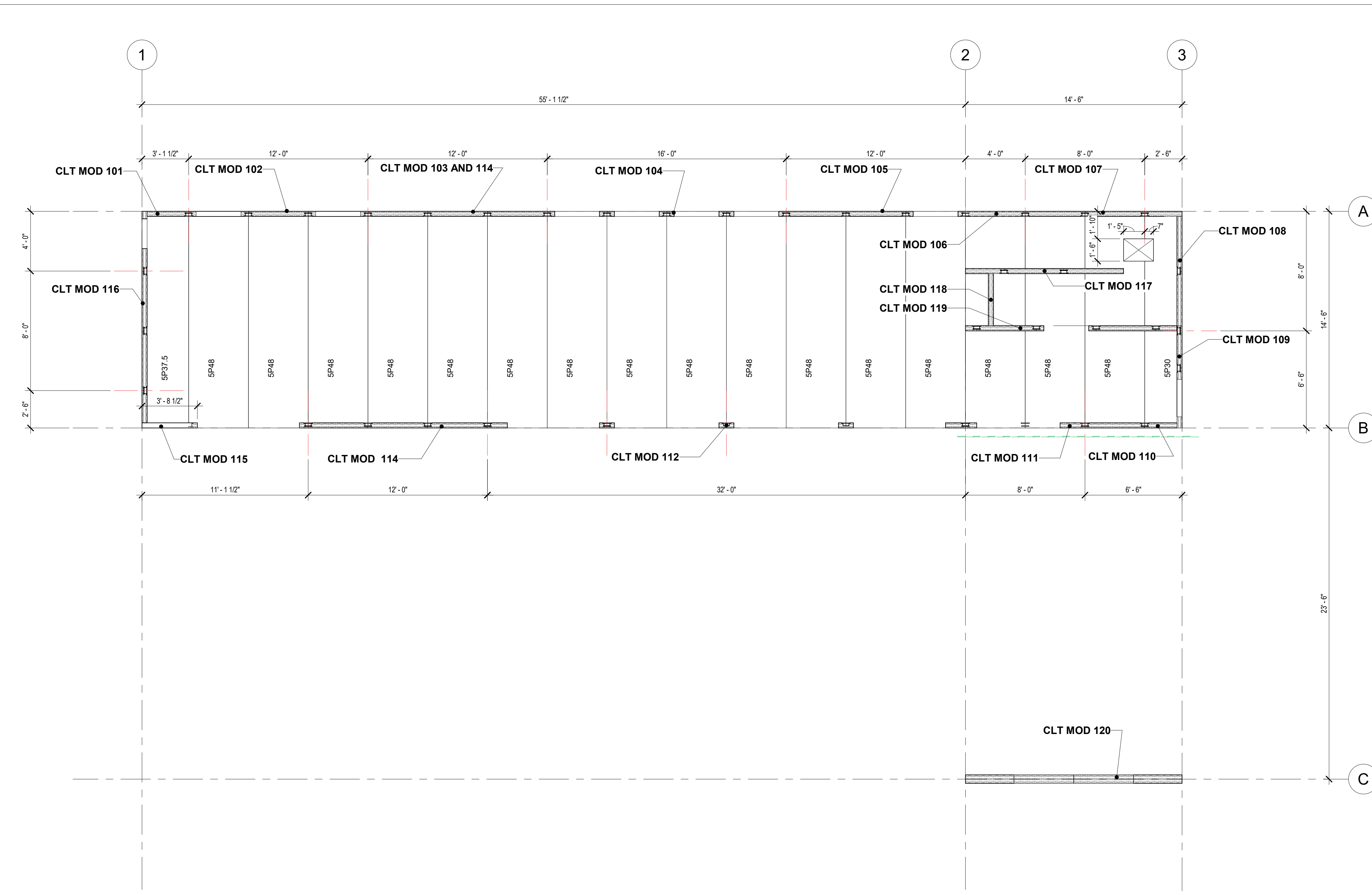
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Issue Date: JANUARY 12, 2021	No. Description Date
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Matt's Place Spokane 1+
1116 East Francis Avenue | Spokane, WA 99208
PERMIT SUBMITTAL
JANUARY 12, 2021

ARCHITECT	SHEET
The Miller Hull Partnership, LLP Architecture and Planning Polson Building 71 Columbia, Sixth Floor Seattle, WA 98104 Phone 206.682.6837 Fax 206.682.5892	LEVEL 1 AND 2 REFLECTED CEILING PLAN A-111

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1 LEVEL 1 - CLT PLAN
1/4" = 1'-0"

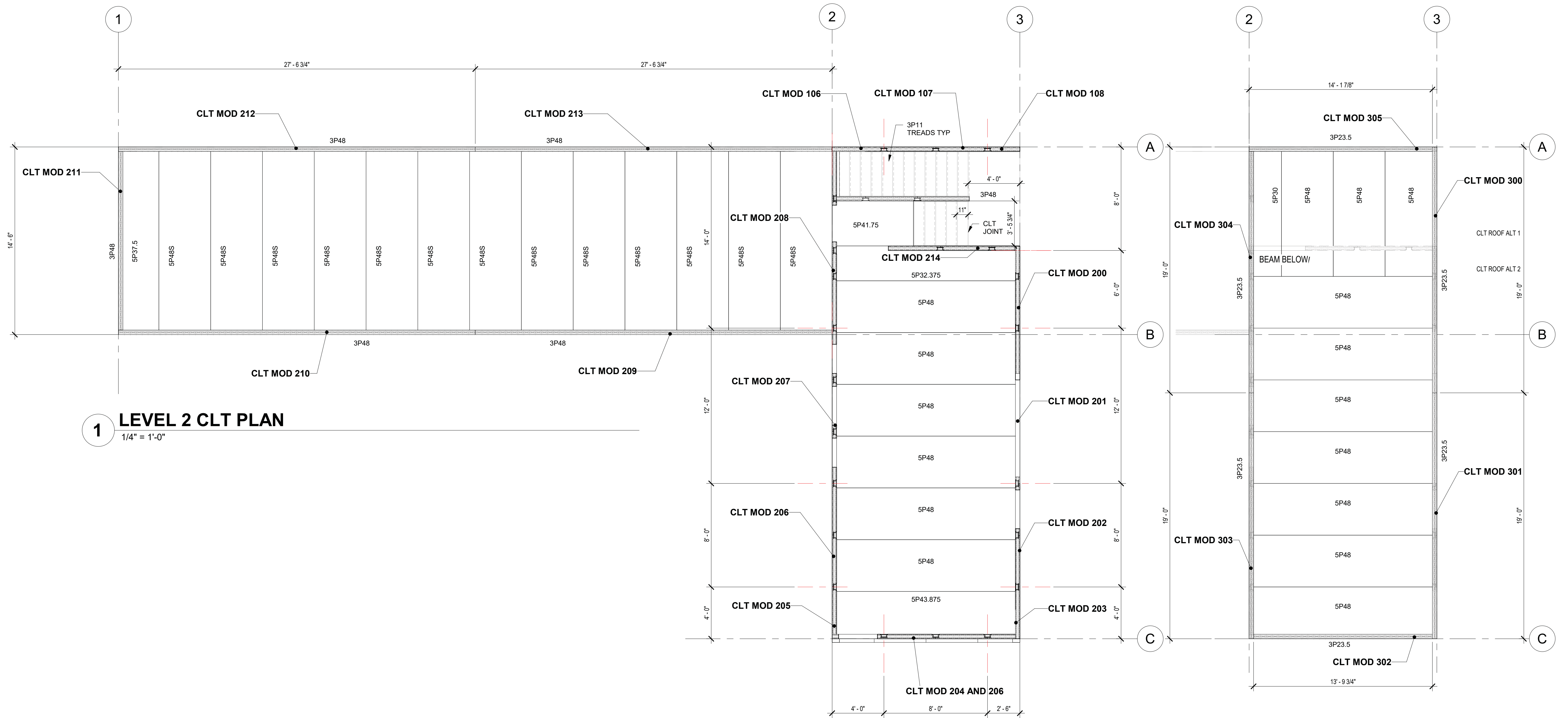
CLT SCHEDULE					
Count	Mark	Type Mark	Type	Length	Type Comments
1		3P7	3 Ply - 0'-7" Wide	9' - 10 1/2"	
1		3P9	3 Ply - 0'-9" Wide	9' - 10 1/2"	
3		3P12	3 Ply - 1'-0" Wide	9' - 10 1/2"	
1		3P16.75	3 Ply - 1'-4 3/4" Wide	9' - 10 1/2"	
1		3P16	3 Ply - 1'-4" Wide	8' - 10"	
1		3P16	3 Ply - 1'-4" Wide	9' - 10 1/2"	
1		3P21.75	3 Ply - 1'-9 3/4" Wide	9' - 10 1/2"	
1		3P24	3 Ply - 2'-0" Wide	9' - 2 5/8"	
1		3P25.875	3 Ply - 2'-1 7/8" Wide	9' - 2 5/8"	
1		3P25.875	3 Ply - 2'-1 7/8" Wide	9' - 10 1/2"	
1		3P25.875	3 Ply - 2'-1 7/8" Wide	11' - 0"	
2		3P23.5	3 Ply - 2'-3 1/2" Wide	14' - 1 7/8"	
1		3P23.5	3 Ply - 2'-3 1/2" Wide	14' - 9 1/32"	
1		3P23.5	3 Ply - 2'-3 1/2" Wide	17' - 7 1/4"	
1		3P23.5	3 Ply - 2'-3 1/2" Wide	20' - 0 5/8"	
1		3P23.5	3 Ply - 2'-3 1/2" Wide	22' - 10 27/32"	
1		3P28	3 Ply - 2'-4" Wide	9' - 2 5/8"	
1		3P30	3 Ply - 2'-6" Wide	11' - 0 1/8"	
1		3P30	3 Ply - 2'-6" Wide	20' - 9 5/8"	
1		3P31	3 Ply - 2'-7" Wide	9' - 10 1/2"	
1		3P33.375	3 Ply - 2'-9 3/8" Wide	9' - 10 1/2"	
1		3P42	3 Ply - 3'-6" Wide	8' - 6"	
1		3P43.875	3 Ply - 3'-7 7/8" Wide	8' - 6"	
2		3P43.875	3 Ply - 3'-7 7/8" Wide	9' - 2 5/8"	
1		3P44.5	3 Ply - 3'-8 1/2" Wide	9' - 10 1/2"	
8		3P48	3 Ply - 4'-0" Wide	9' - 2 5/8"	
15		3P48	3 Ply - 4'-0" Wide	9' - 10 1/2"	
1		3P48	3 Ply - 4'-0" Wide	11' - 0"	
2		3P48	3 Ply - 4'-0" Wide	20' - 9 5/8"	
1		3P48	3 Ply - 4'-0" Wide	0' - 0 1/4"	
1		3P48	3 Ply - 4'-0" Wide	9' - 2 5/8"	
2		3P48	3 Ply - 4'-0" Wide	9' - 10 1/2"	
1		3P48	3 Ply - 4'-0" Wide	20' - 9 5/8"	
1		3P48	3 Ply - 4'-0" Wide	14' - 1 7/8"	
2		3P48	3 Ply - 4'-0" Wide	25' - 3 9/16"	
2		3P48	3 Ply - 4'-0" Wide	29' - 0 15/16"	
1		3P48-O6X26.625	3 Ply - 6" x 26 5/8" Opening	9' - 2 5/8"	
1		3P8	3 Ply - 8"	5' - 10"	
1		3P8	3 Ply - 8"	9' - 0 3/32"	
1		3P8	3 Ply - 8"	11' - 11 29/32"	
1		3P8	3 Ply - 8"	21' - 0"	
1		3P48-O24X72	3 Ply - 24" x 72" Opening	9' - 10 1/2"	
1		3P26.625	3 Ply - 26 5/8"	13' - 6"	
2		3P48-O27X48	3 Ply - 27" x 48" Opening	9' - 2 5/8"	
1		3P48-O102X30	3 Ply - 28" x 103 1/2" Opening	11' - 0"	
1		3P48-O30X48	3 Ply - 30" x 48" Opening	11' - 0 1/8"	
1		3P48-O34X86	3 Ply - 34" x 86" Opening	9' - 2 5/8"	
2		3P48-O36X30	3 Ply - 36" x 30" Opening	9' - 10 1/2"	
2		3P48-O36X48	3 Ply - 36" x 48" Opening	9' - 2 5/8"	
5		3P48-O36X48	3 Ply - 36" x 48" Opening	9' - 10 1/2"	
1		3P48-O36X48	3 Ply - 36" x 48" Opening	9' - 2 5/8"	
1		3P48-O36X86	3 Ply - 36" x 86" Opening	9' - 10 1/2"	
1		3P48-O102X39	3 Ply - 39" x 103 1/2" Opening	11' - 0"	
1		3P48-O42X48	3 Ply - 42" x 48" Opening	9' - 2 5/8"	
1		3P48-O44X48	3 Ply - 44" x 48" Opening	8' - 6"	
1		5P30	5 Ply - 2'-6" Wide	12' - 0"	
1		5P30	5 Ply - 2'-6" Wide	14' - 6"	
1		5P32.375	5 Ply - 2'-8 3/8" Wide	14' - 6"	
1		5P37.5	5 Ply - 3'-1 1/2" Wide	14' - 1 7/8"	
1		5P37.5	5 Ply - 3'-1 1/2" Wide	14' - 6"	
2		5P39	5 Ply - 3'-3" Wide	10' - 2 5/8"	
1		5P41.75	5 Ply - 3'-5 3/4" Wide	7' - 4 3/4"	
1	66	5P43.875	5 Ply - 3'-7 7/8" Wide	14' - 6"	
2		5P48	5 Ply - 4'-0" Wide	10' - 2 5/8"	
1	66	5P48	5 Ply - 4'-0" Wide	11' - 3"	
1		5P48	5 Ply - 4'-0" Wide	11' - 11"	
2		5P48	5 Ply - 4'-0" Wide	12' - 0"	
28	66	5P48	5 Ply - 4'-0" Wide	14' - 6"	
13	66	5P48S	5 Ply - 4'-0" Wide	14' - 1 7/8"	

NOTE: STAIR CLT'S HAVE NOT BEEN SCHEDULED

REVISED 1/14/2021 B1921045

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<p>CHECKED</p> <p>Issue Date: JANUARY 12, 2021</p> <p>Drawn: _____ Author</p> <p>Checked: _____ Checker</p> <p>MJH Project No.: H94.008817</p>	<p>REVISIONS</p> <table border="1"> <tr> <th>No.</th> <th>Description</th> <th>Date</th> </tr> <tr> <td>C</td> <td>PERMIT RESUBMITTAL</td> <td>1/12/21</td> </tr> </table>	No.	Description	Date	C	PERMIT RESUBMITTAL	1/12/21	<p>STAMP</p>	<p>CONSULTANT</p>	<p>Matt's Place Spokane 1+</p> <p>1116 East Francis Avenue Spokane, WA 99208</p> <p>PERMIT SUBMITTAL</p> <p>JANUARY 12, 2021</p>	<p>ARCHITECT</p> <p>The Miller Hull Partnership, LLP Architecture and Planning Polson Building 71 Columbia, Sixth Floor Seattle, WA 98104</p> <p>Phone 206.682.6837 Fax 206.682.5892</p>	<p>SHEET</p> <p>LEVEL 1 - CLT PLAN</p> <p>A-121</p>
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C	PERMIT RESUBMITTAL	1/12/21										



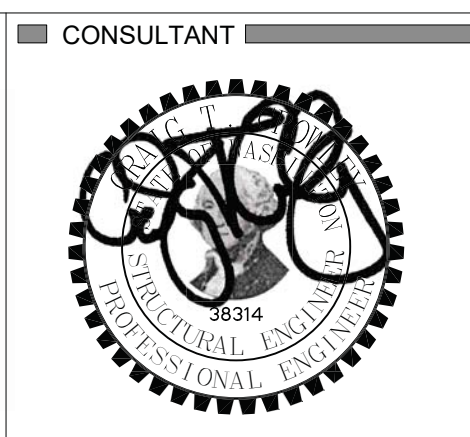
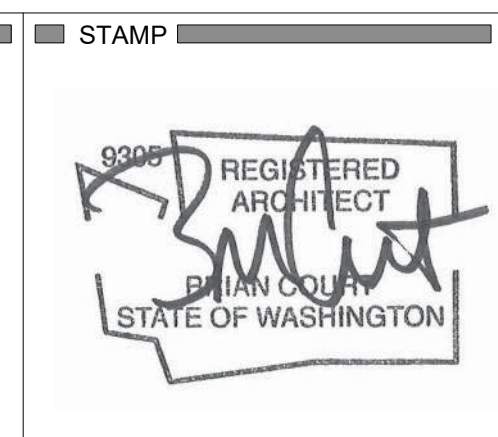
1 LEVEL 2 CLT PLAN
1/4" = 1'-0"

2 ROOF - CLT PLAN
1/4" = 1'-0"

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Issue Date:	JANUARY 12, 2021
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MJH Project No.:	H94.008817

No.	Description	Date
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Matt's Place Spokane 1+
1116 East Francis Avenue | Spokane, WA 99208

PERMIT SUBMITTAL
JANUARY 12, 2021

ARCHITECT

The Miller Hull Partnership, LLP
Architecture and Planning
Polson Building
71 Columbia, Sixth Floor
Seattle, WA 98104

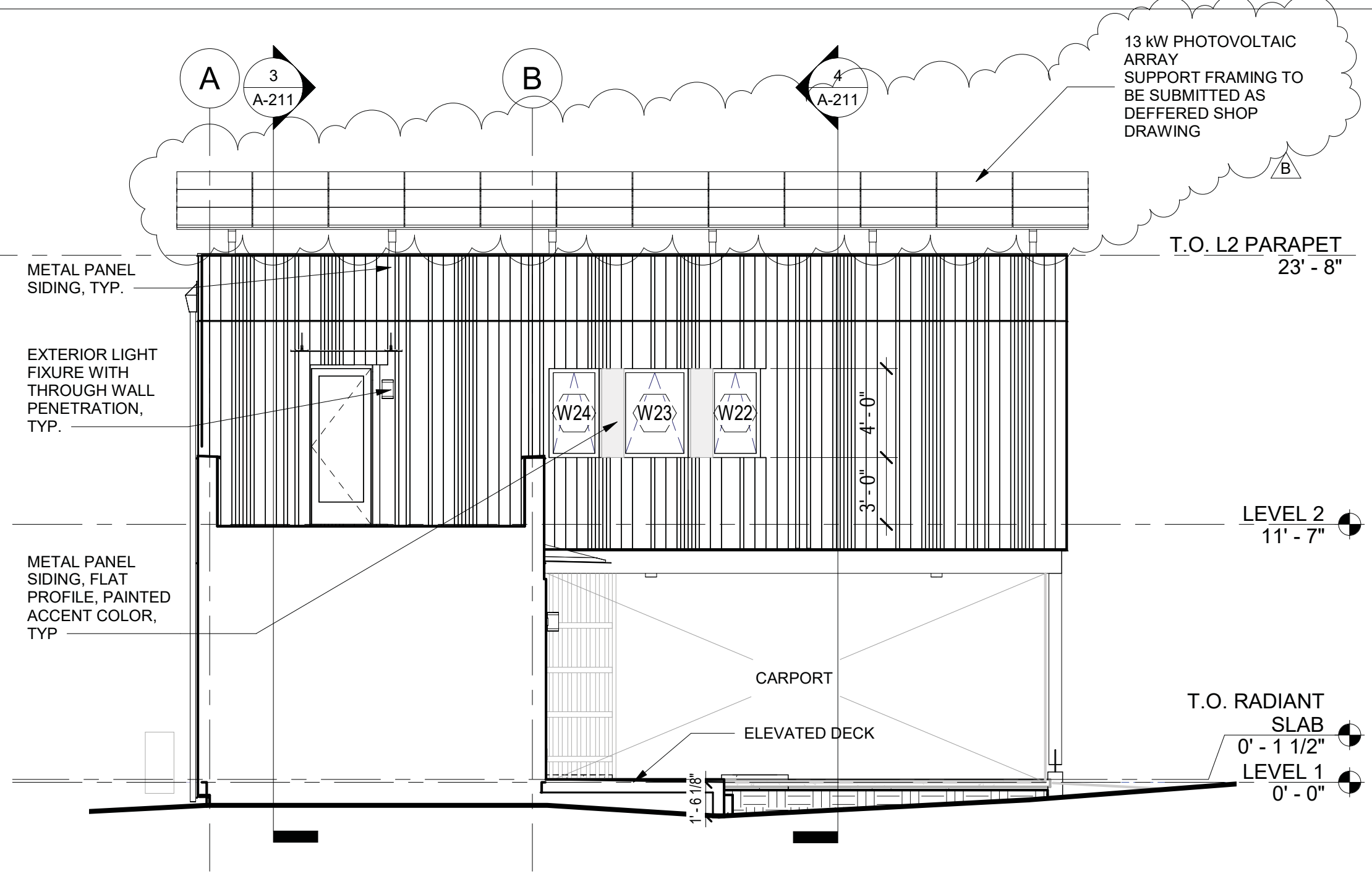
Phone 206.682.6837
Fax 206.682.5892

MILLER HULL

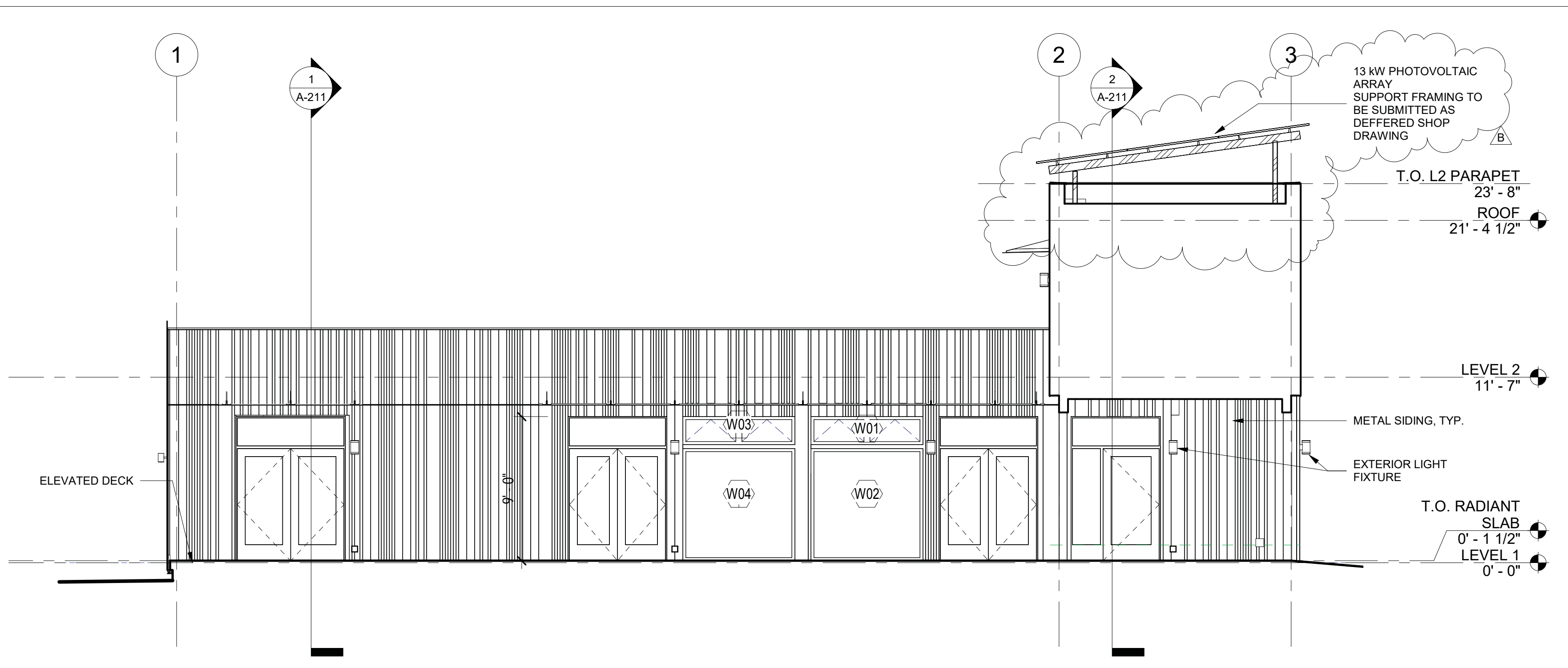
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**LEVEL 2 AND
ROOF - CLT
PLANS**

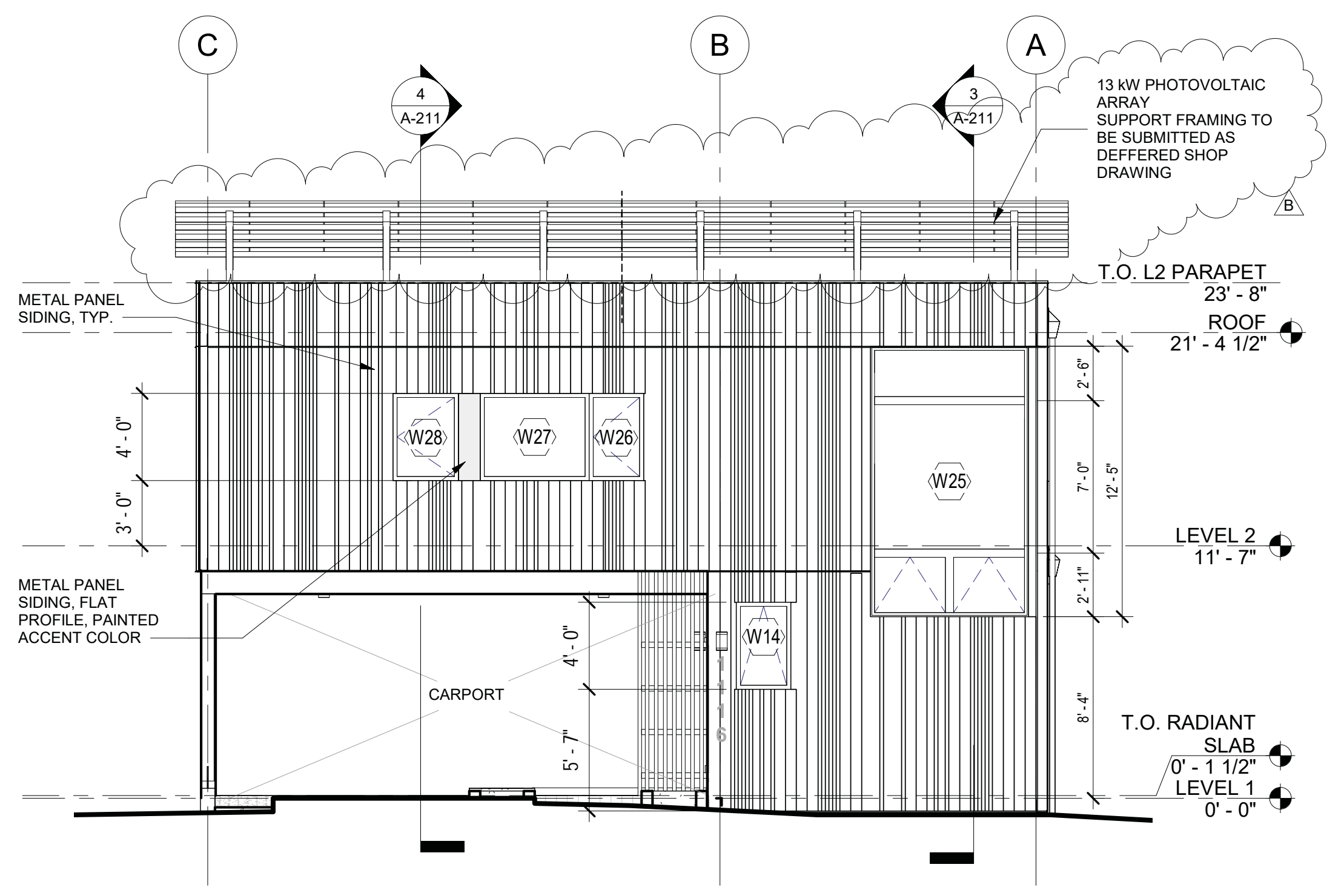
A-122



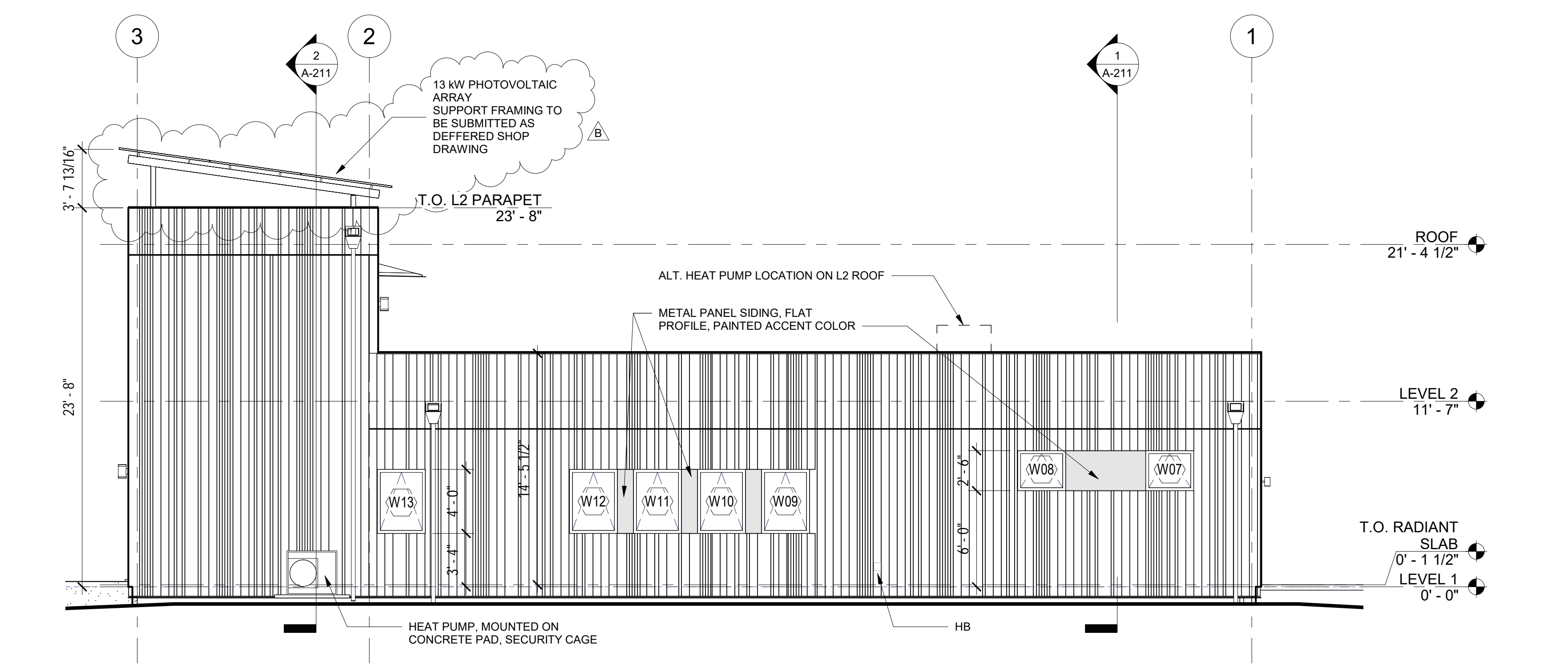
4 SOUTH ELEVATION
3/16" = 1'-0"



3 EAST ELEVATION
3/16" = 1'-0"



2 NORTH ELEVATION
3/16" = 1'-0"



1 WEST ELEVATION
3/16" = 1'-0"

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NO.	DESCRIPTION	DATE
B	PERMIT REVISION 2	5/8/20

CHECKED	STAMP	CONSULTANT

Matt's Place Spokane 1+

1116 East Francis Avenue | Spokane, WA 99208

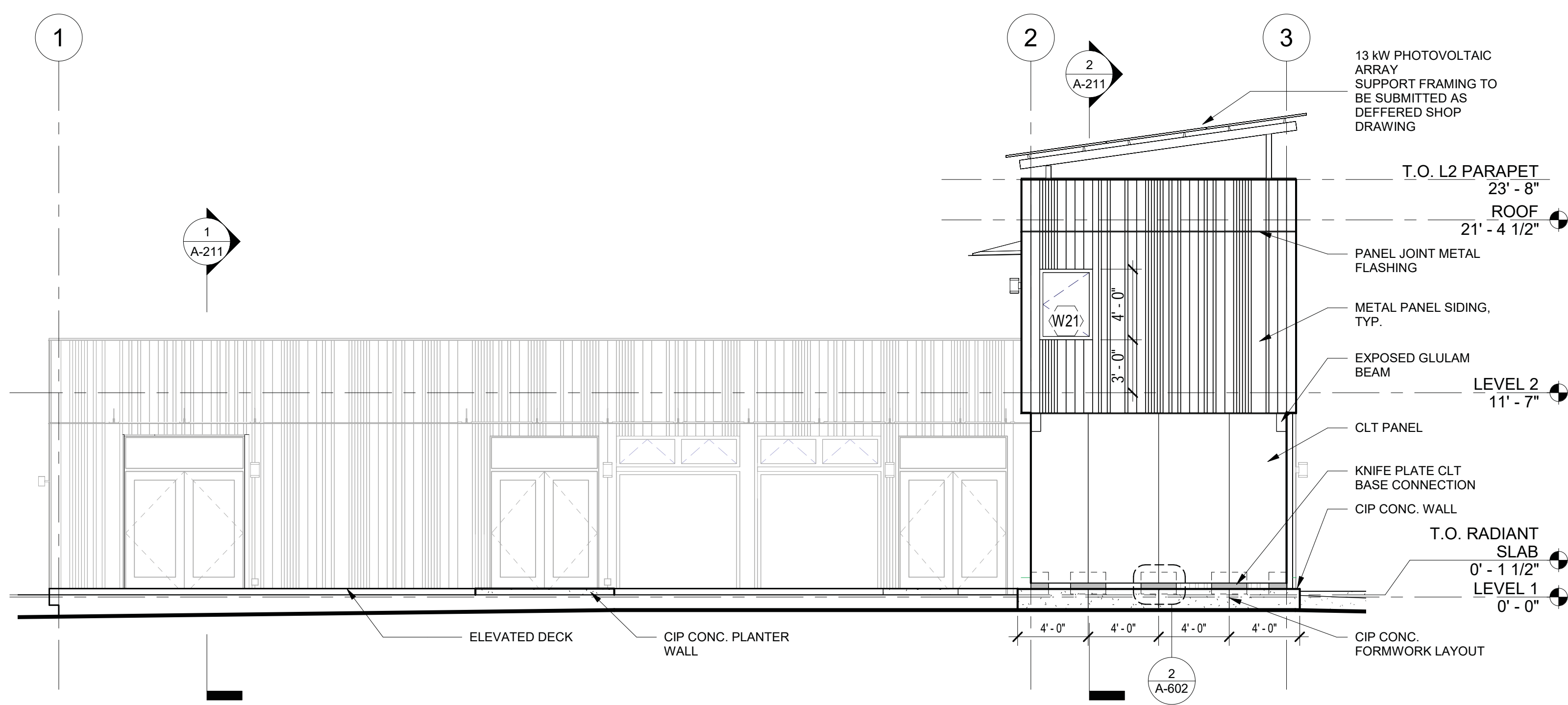
PERMIT SUBMITTAL
JANUARY 12, 2021

<p>ARCHITECT</p> <p>The Miller Hull Partnership, LLP Architecture and Planning Polson Building 71 Columbia, Sixth Floor Seattle, WA 98104</p> <p>Phone 206.682.6837 Fax 206.682.5692</p>	<p>MILLER HULL</p>	<p>SHEET</p> <p>BUILDING ELEVATIONS</p> <p>A-201</p>
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2 SOUTH ELEVATION - PARTIAL
3/16" = 1'-0"



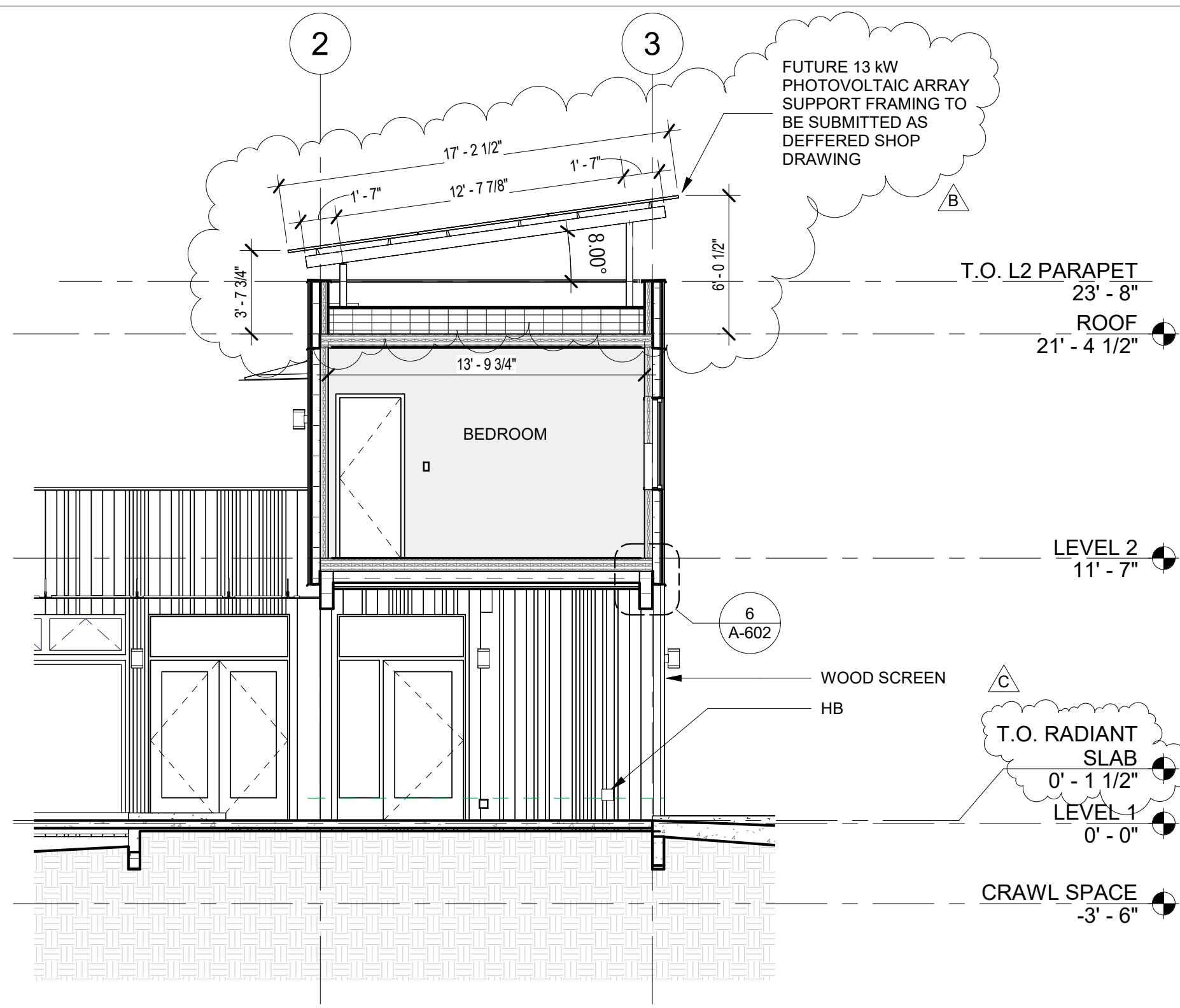
1 EAST ELEVATION - PARTIAL
3/16" = 1'-0"

CHECKED Issue Date: JANUARY 12, 2021 Drawn: _____ Author Checked: _____ Checker MJH Project No.: H94.008817	REVISIONS <table border="1"> <thead> <tr> <th>No.</th> <th>Description</th> <th>Date</th> </tr> </thead> <tbody> <tr> <td>C</td> <td>PERMIT RESUBMITTAL</td> <td>1/12/21</td> </tr> </tbody> </table>	No.	Description	Date	C	PERMIT RESUBMITTAL	1/12/21	STAMP 	CONSULTANT
No.	Description	Date							
C	PERMIT RESUBMITTAL	1/12/21							

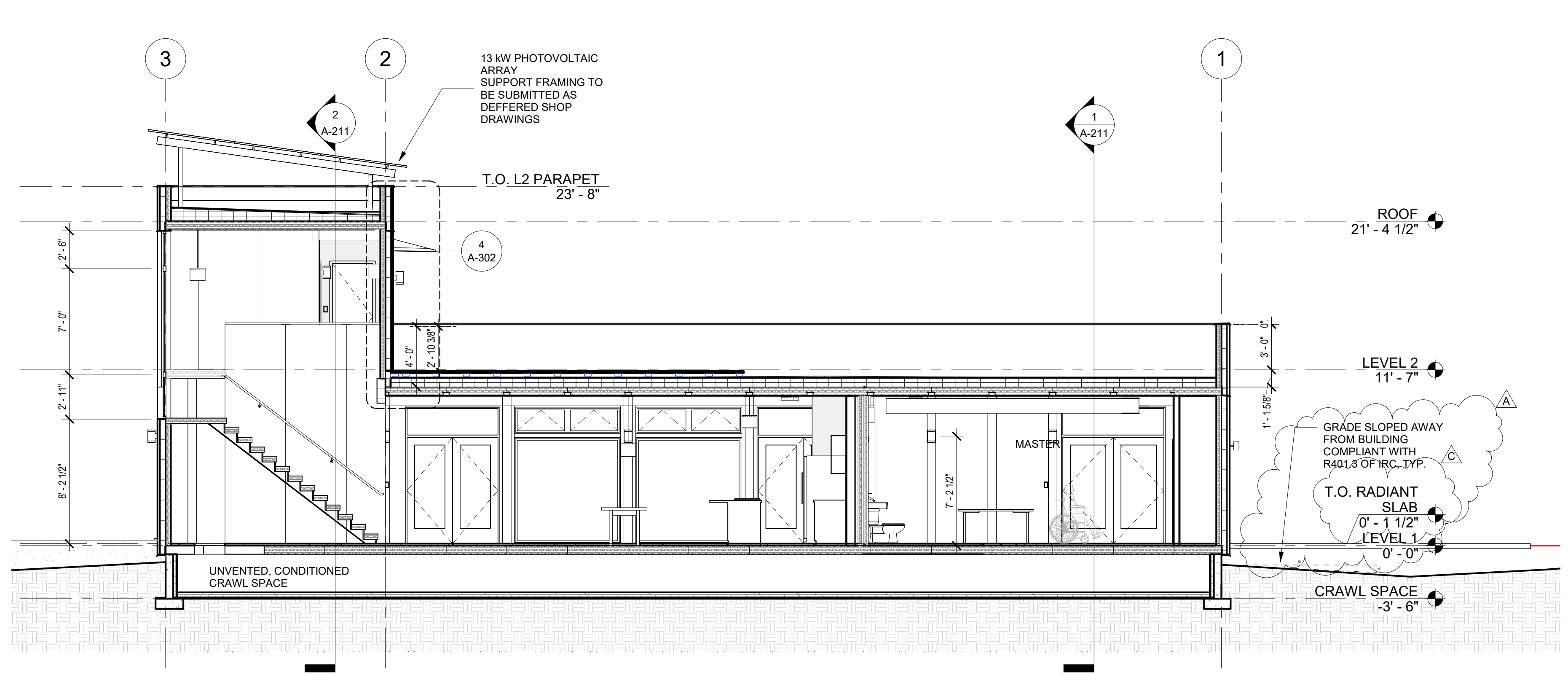
Matt's Place Spokane 1+
 1116 East Francis Avenue | Spokane, WA 99208
PERMIT SUBMITTAL
 JANUARY 12, 2021

ARCHITECT The Miller Hull Partnership, LLP Architecture and Planning Polson Building 71 Columbia, Sixth Floor Seattle, WA 98104 Phone 206.682.6837 Fax 206.682.5692	SHEET BUILDING ELEVATIONS A-202
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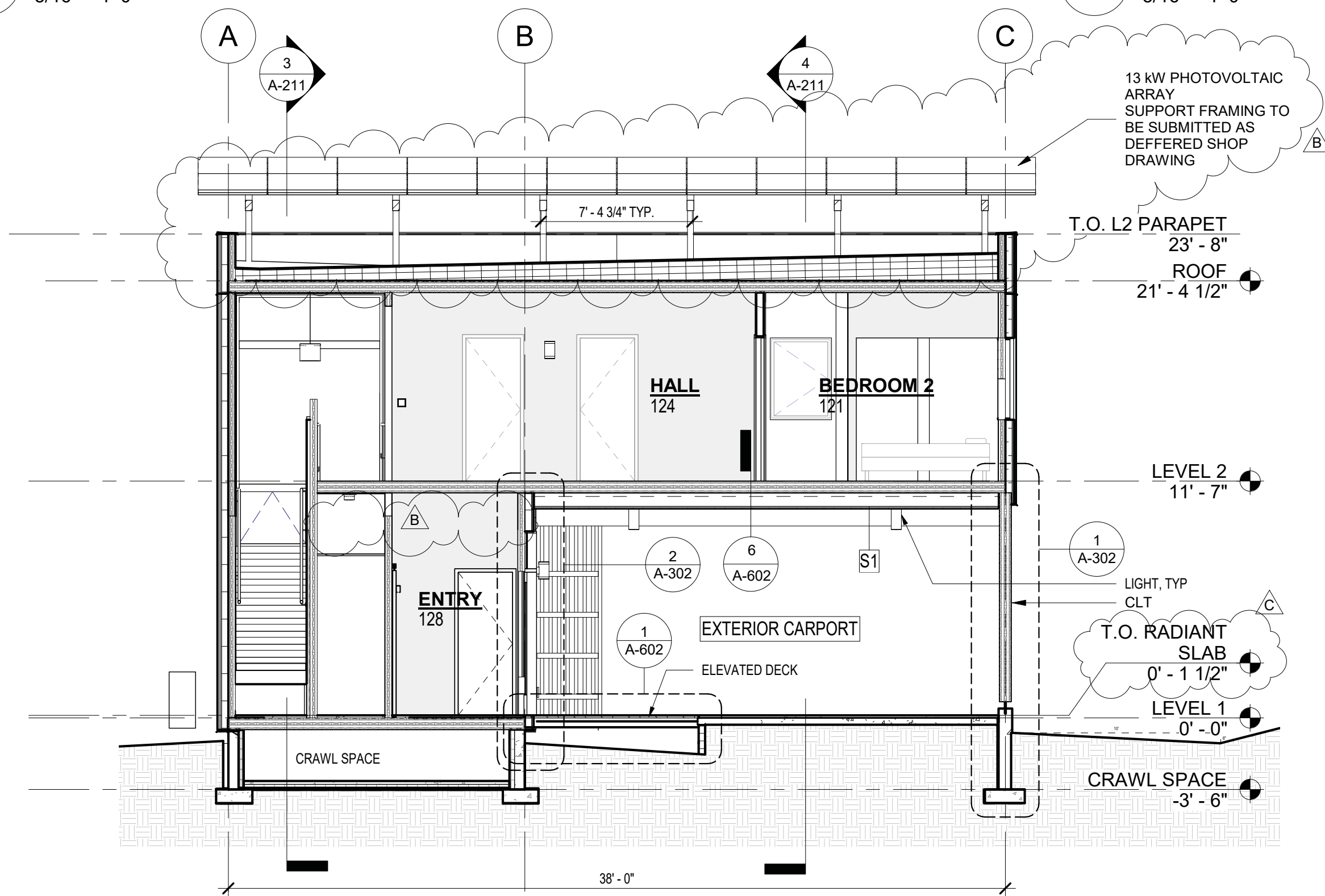
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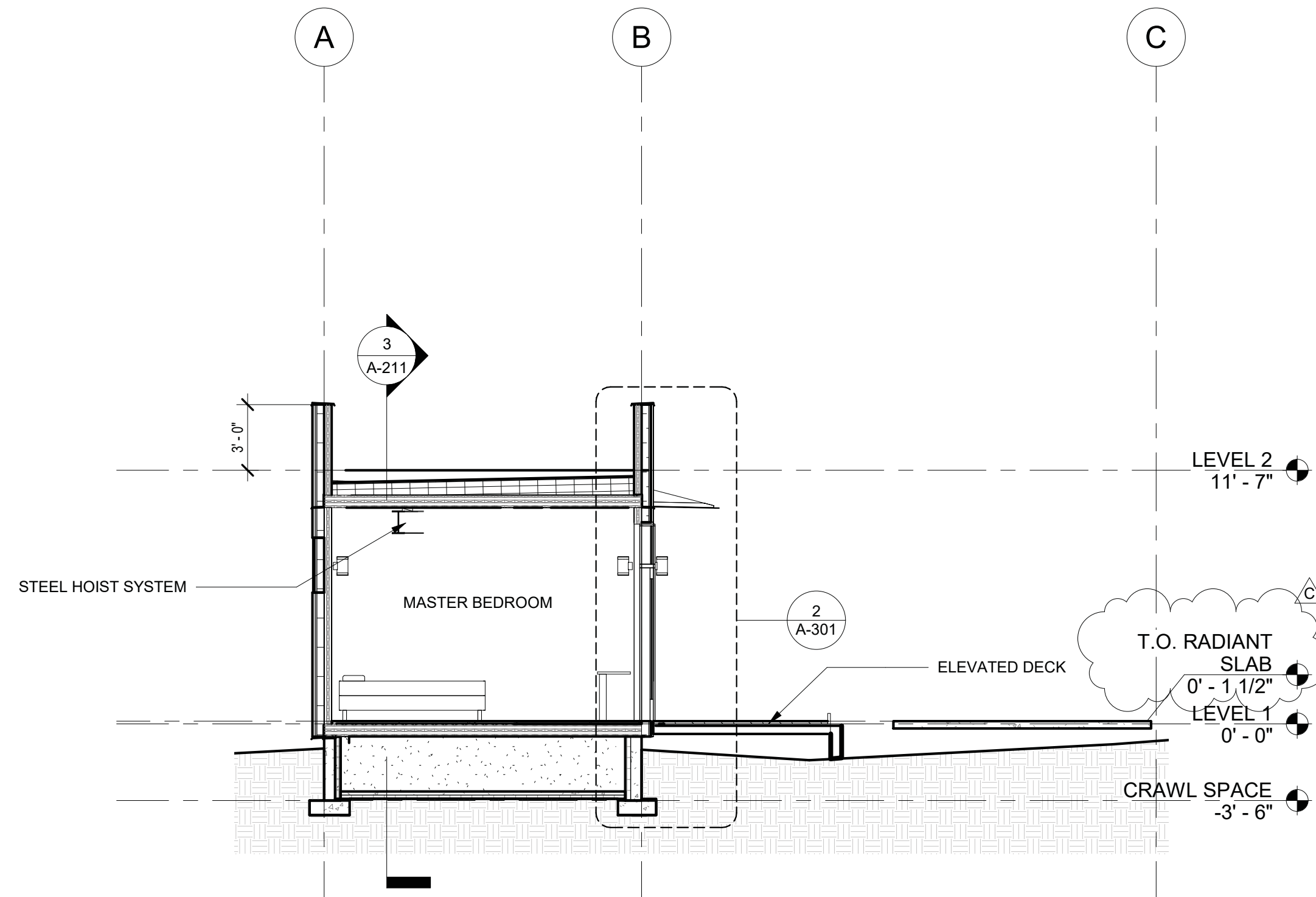
4 BUILDING SECTION AT CARPORT
3/16" = 1'-0"



3 BUILDING SECTION AT LIVING ROOM
3/16" = 1'-0"



2 BUILDING SECTION AT LEVEL 2 HALLWAY
3/16" = 1'-0"



1 BUILDING SECTION AT MASTER BEDROOM
3/16" = 1'-0"

CHECKED	REVISIONS	STAMP	CONSULTANT
Issue Date: JANUARY 12, 2021	No. Description Date		
Drawn: Author	A PERMIT REVISION 1 3/12/20		
Checked: Checker	B PERMIT REVISION 2 5/8/20		
MJH Project No.: H94.008817	C PERMIT RESUBMITTAL 1/12/21		

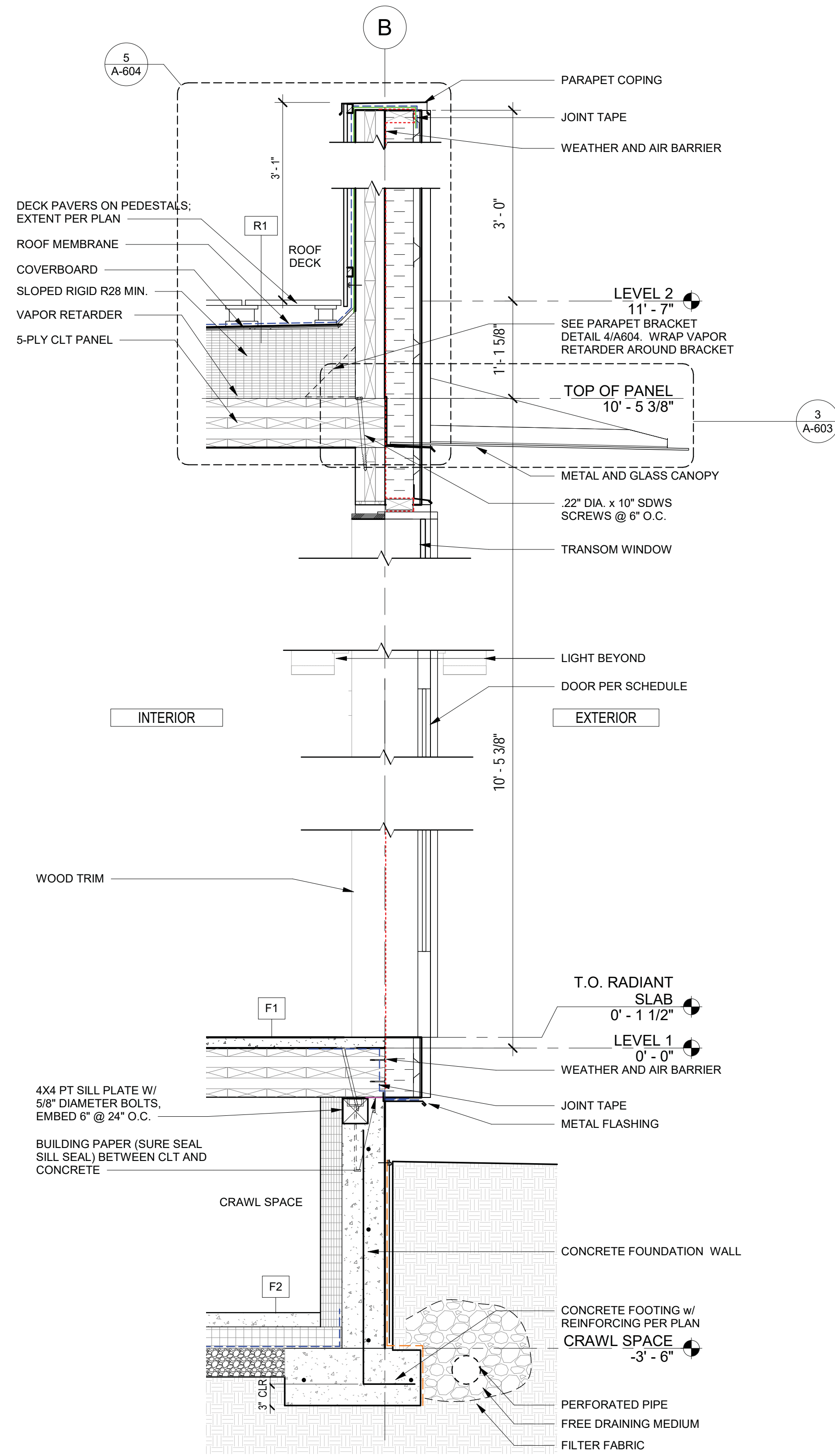
Matt's Place Spokane 1+
 1116 East Francis Avenue | Spokane, WA 99208
PERMIT SUBMITTAL
 JANUARY 12, 2021

ARCHITECT	SHEET
The Miller Hull Partnership, LLP Architecture and Planning Polson Building 71 Columbia, Sixth Floor Seattle, WA 98104	BUILDING SECTIONS A-211
Phone 206.682.6837 Fax 206.682.5692	

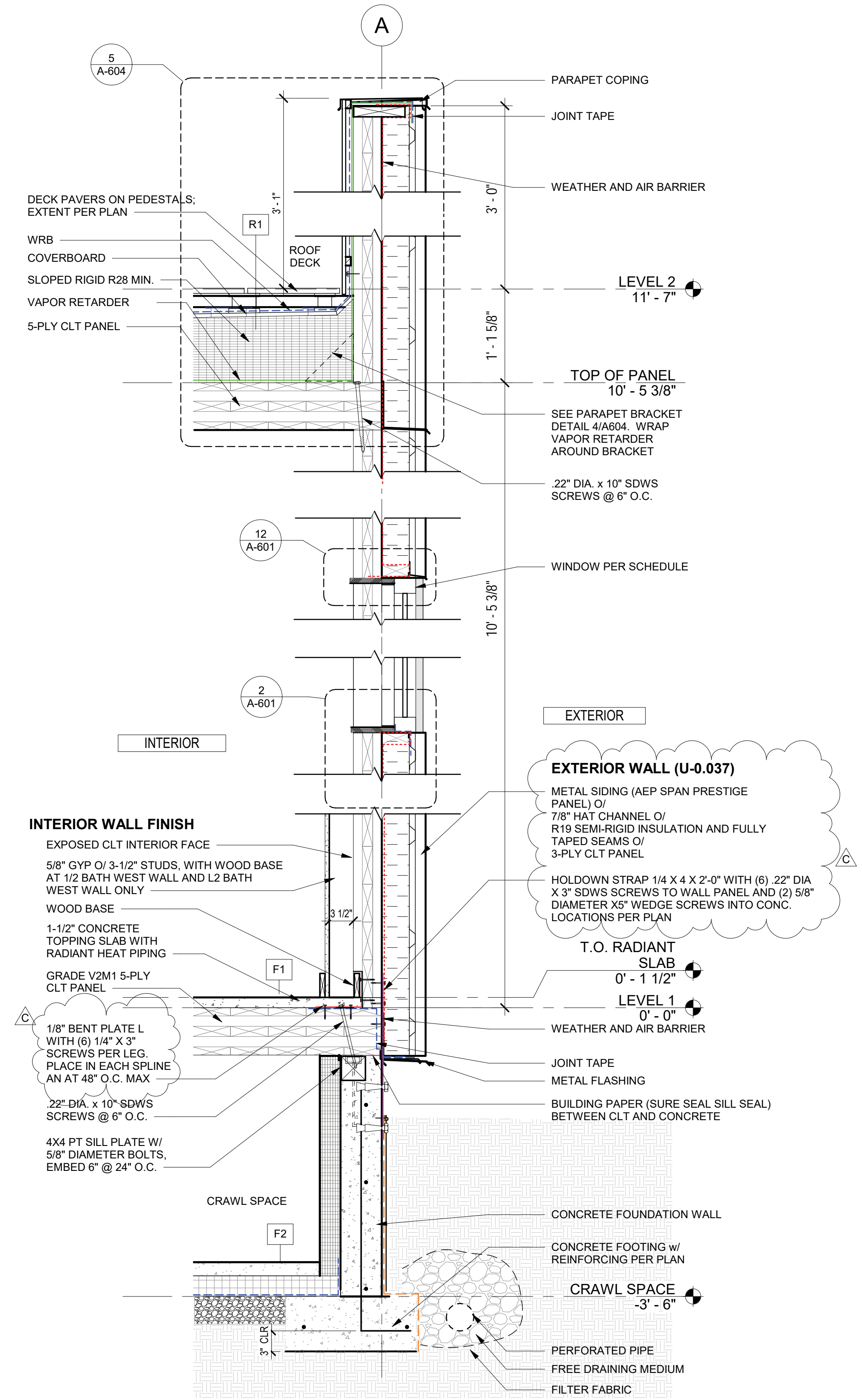
REVISED 1/14/2021 B1921045

EXTERIOR PRODUCT BASIS OF DESIGN SPECIFICATIONS

METAL PANEL SIDING	AESPAN PRESTIGE SERIES, MIDNIGHT BRONZE
	7/8" METAL HAT CHANNEL
SEMI-RIGID INSULATION	ROCKWOOL COMFORTBOARD 110
WEATHER AND AIR BARRIER	VAPROSHIELD WRAPSHIELD SA
JOINT TAPE	3" VAPROSHIELD VAPROTAPE
CLT FINISH	PANEL FACES: SANSIN KP-12, ON PANEL END GRAIN: SANSIN END SEAL
WOOD SOFFIT	2X6 CEDAR, FINISH: SANSIN KP-12
WINDOW AND DOOR TRIM	DOUGLAS FIR TO MATCH CLT



2 WALL SECTION AT GRID LINE B
1" = 1'-0"



1 WALL SECTION AT GRID LINE A
1" = 1'-0"

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Issue Date: JANUARY 12, 2021	No. Description Date
Drawn: Author	C PERMIT RESUBMITTAL 1/12/21
Checked: Checker	
MJH Project No.: H94.008817	

STAMP	CONSULTANT
9200 REGISTERED ARCHITECT BRIAN COLE STATE OF WASHINGTON	38314 THE CENTRAL ENGINEERING PROFESSIONAL ENGINEERS

Matt's Place Spokane 1+
1116 East Francis Avenue | Spokane, WA 99208
PERMIT SUBMITTAL
JANUARY 12, 2021

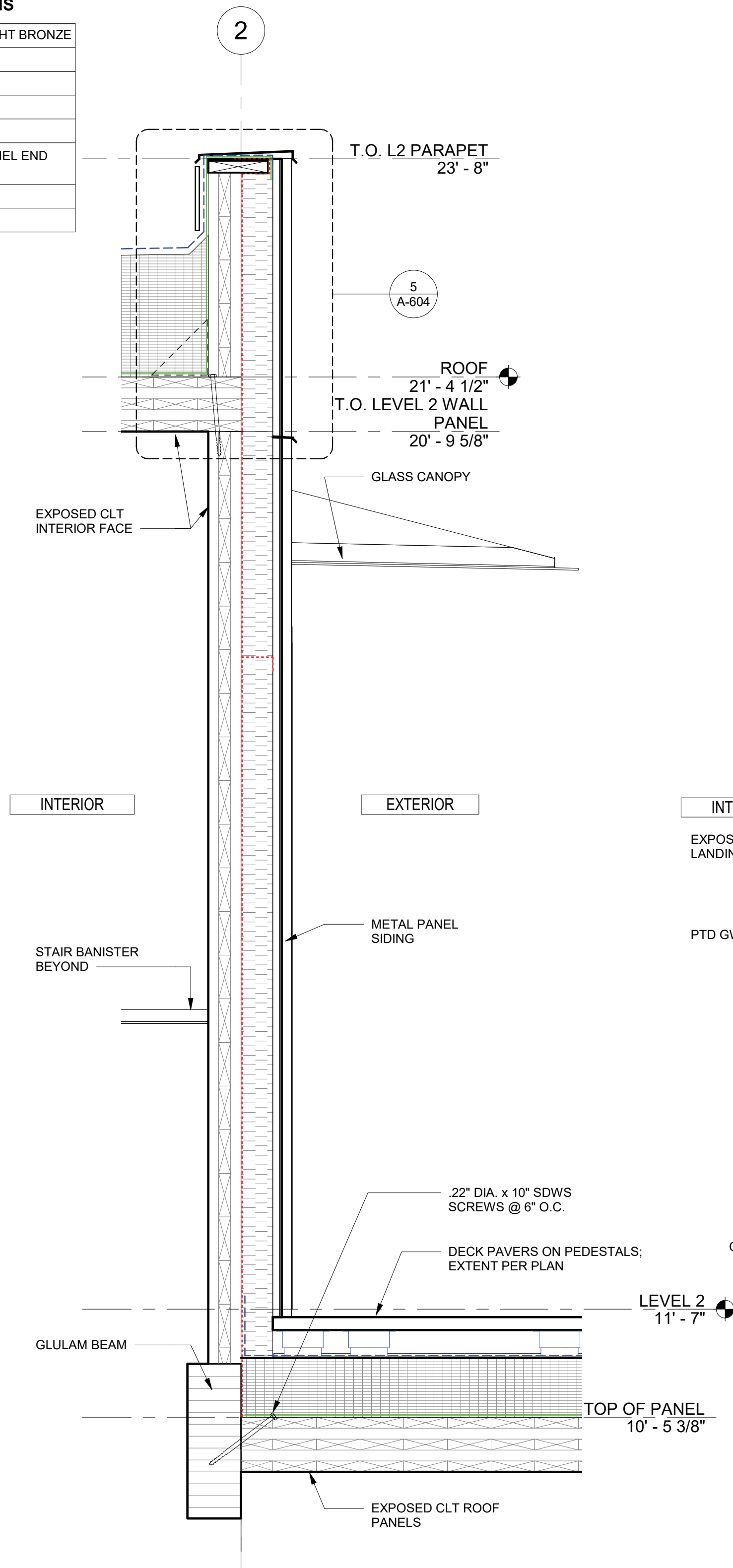
ARCHITECT	SHEET
The Miller Hull Partnership, LLP Architecture and Planning Polson Building 71 Columbia, Sixth Floor Seattle, WA 98104 Phone 206.682.6837 Fax 206.682.5892	WALL SECTIONS A-301

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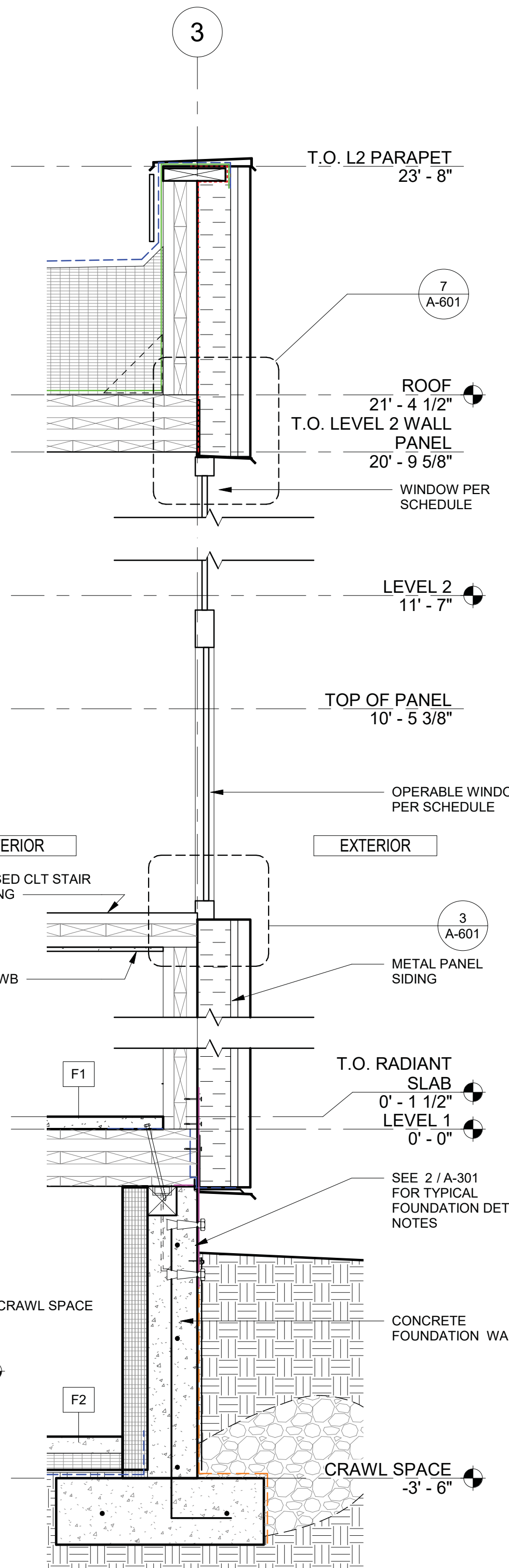
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EXTERIOR PRODUCT BASIS OF DESIGN SPECIFICATIONS

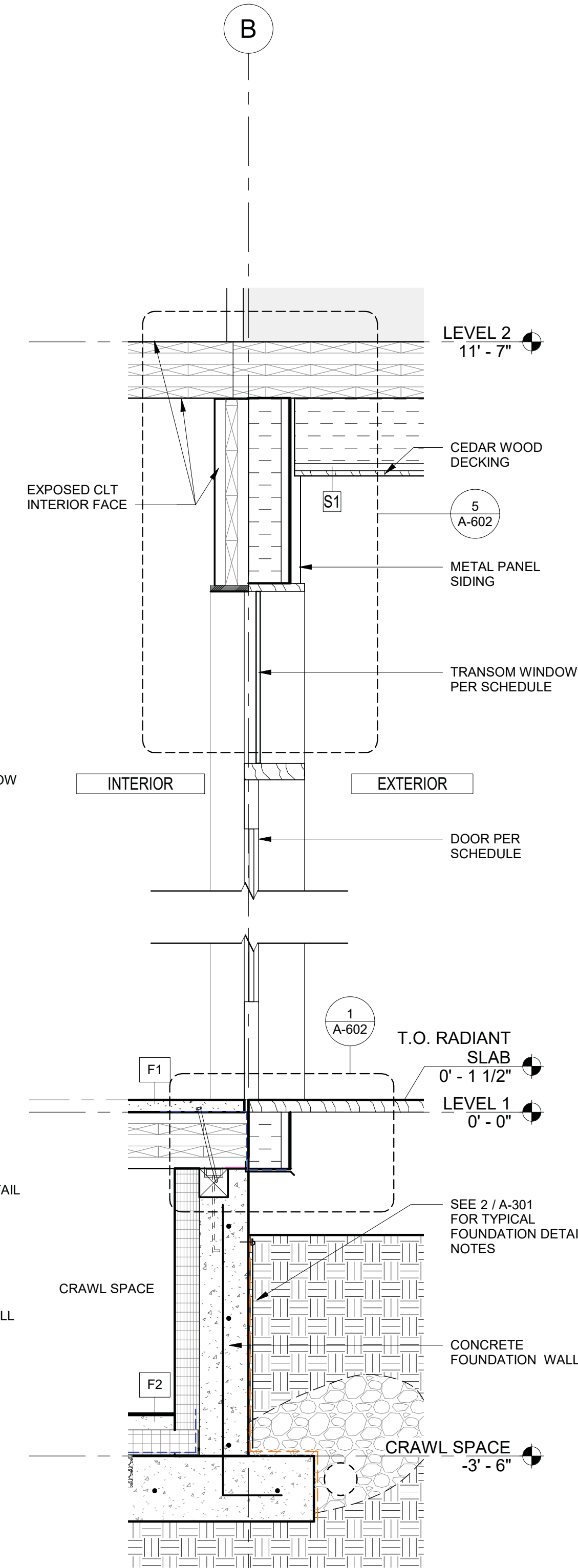
METAL PANEL SIDING	AEPSPAN PRESTIGE SERIES, MIDNIGHT BRONZE
	7/8" METAL HAT CHANNEL
SEMI-RIGID INSULATION	ROCKWOOL COMFORTBOARD 110
WEATHER AND AIR BARRIER	VAPROSHIELD WRAPSHIELD SA
JOINT TAPE	3" VAPROSHIELD VAPROTAPE
CLT FINISH	PANEL FACES: SANSIN KP-12, ON PANEL END GRAIN: SANSIN END SEAL
WOOD SOFFIT	2X6 CEDAR, FINISH: SANSIN KP-12
WINDOW AND DOOR TRIM	DOUGLAS FIR TO MATCH CLT



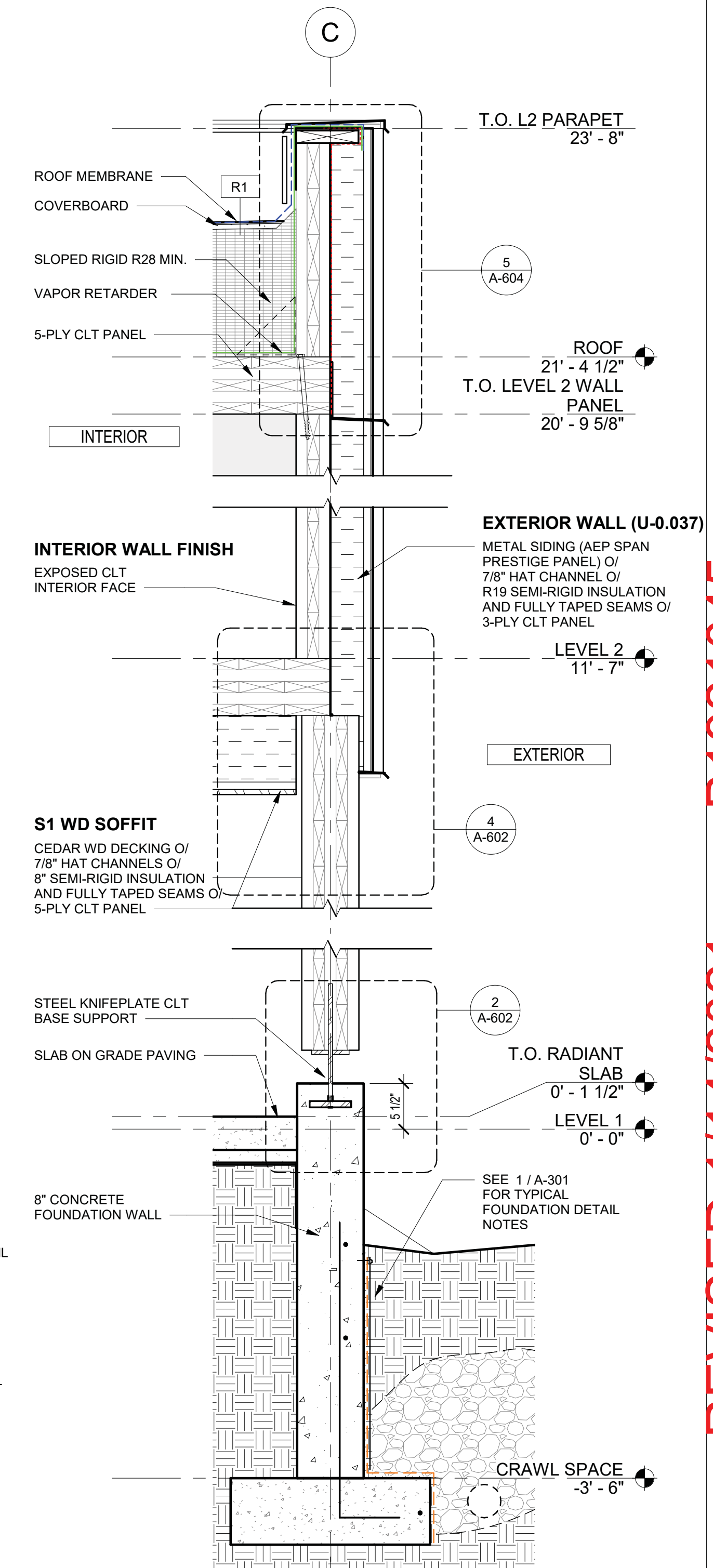
4 WALL SECT @ 2ND FLOOR
1" = 1'-0"



3 WALL SECTION AT STAIR
1" = 1'-0"



2 WALL SECT AT ENTRY DOOR
1" = 1'-0"



1 WALL SECTION AT GRID LINE C
1" = 1'-0"

CHECKED	REVISIONS	STAMP	CONSULTANT
Issue Date: JANUARY 12, 2021	No. Description Date	9200 REGISTERED ARCHITECT	
Drawn: _____	C PERMIT RESUBMITTAL 1/12/21	BRIAN COLEMAN	
Checked: _____		STATE OF WASHINGTON	
MJH Project No.: H94.008817			

Issue Date: JANUARY 12, 2021	Author
Drawn: _____	Checker
Checked: _____	
MJH Project No.: H94.008817	

STAMP: 9200 REGISTERED ARCHITECT, BRIAN COLEMAN, STATE OF WASHINGTON

CONSULTANT: THE CENTRAL ENGINEERING & ARCHITECTURE PROFESSIONAL ENGINEERS

Matt's Place Spokane 1+

1116 East Francis Avenue | Spokane, WA 99208

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JANUARY 12, 2021

ARCHITECT: The Miller Hull Partnership, LLP
Architecture and Planning
Polson Building
71 Columbia, Sixth Floor
Seattle, WA 98104

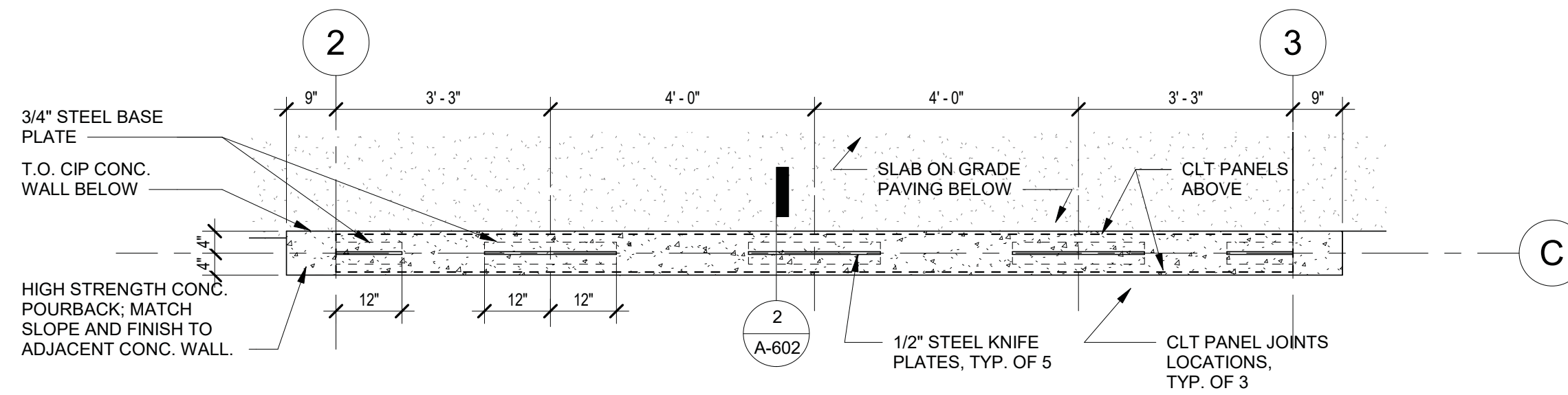
Phone 206.682.6837
Fax 206.682.5892

SHEET: **WALL SECTIONS A-302**

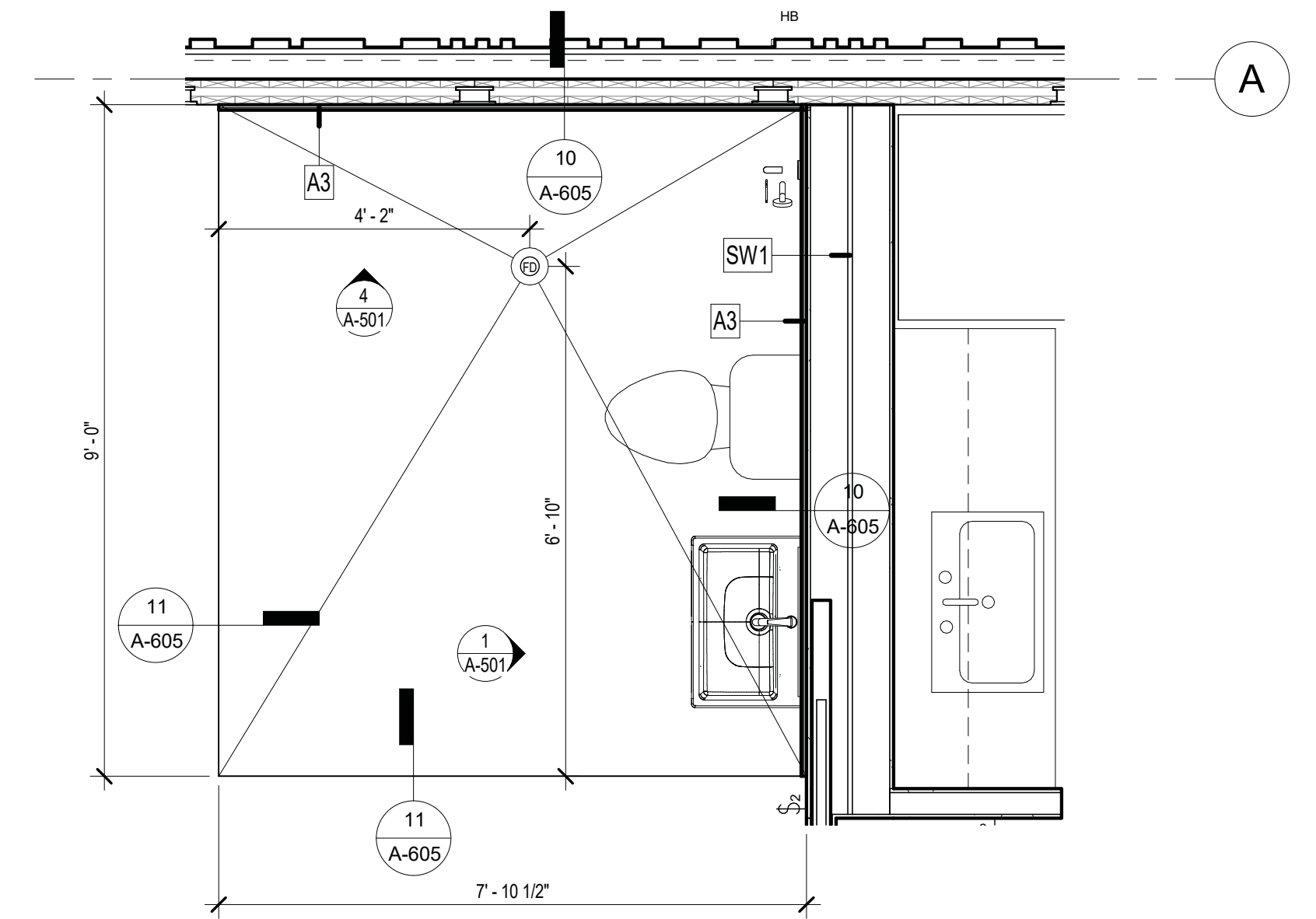
MILLER HULL

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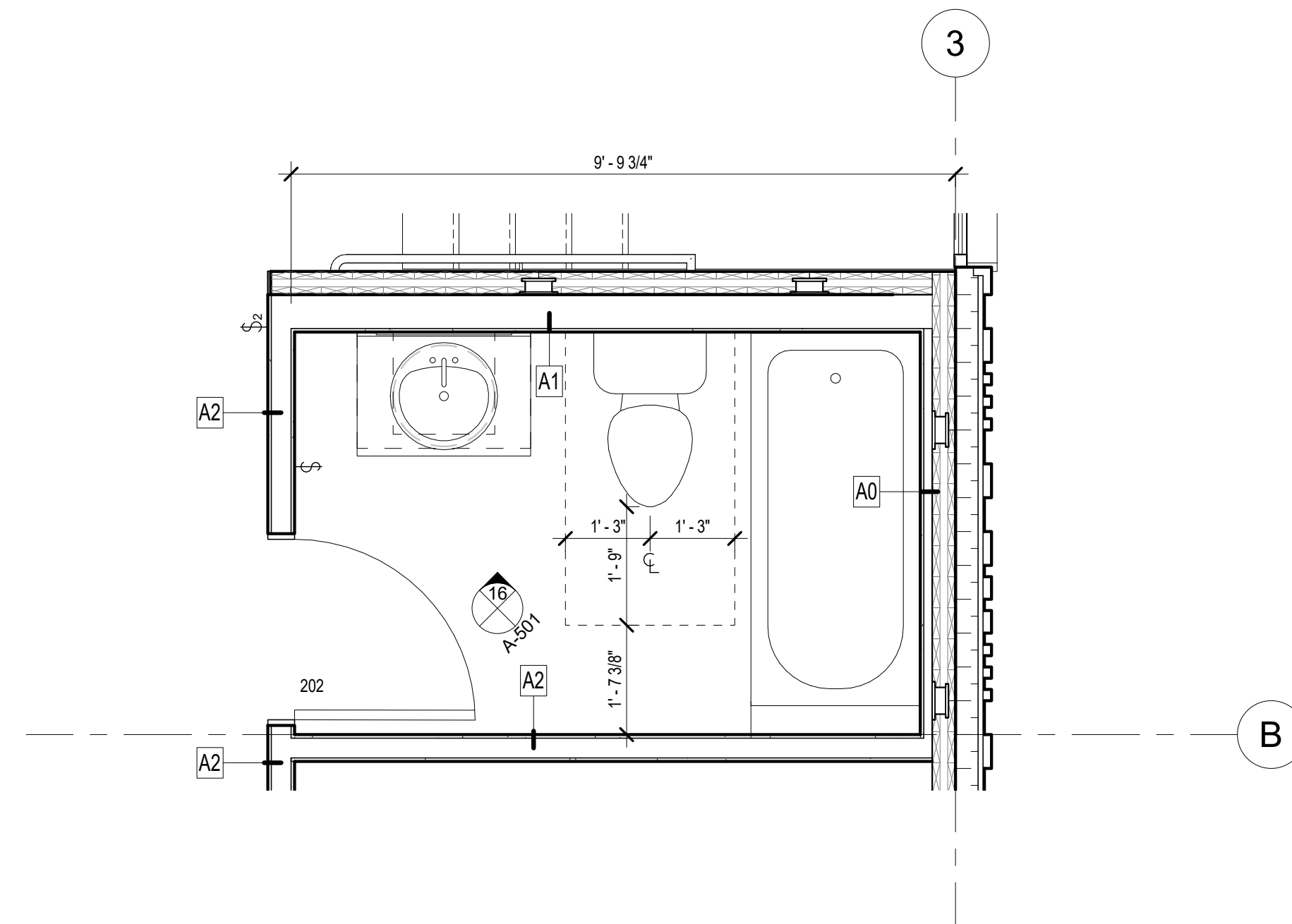
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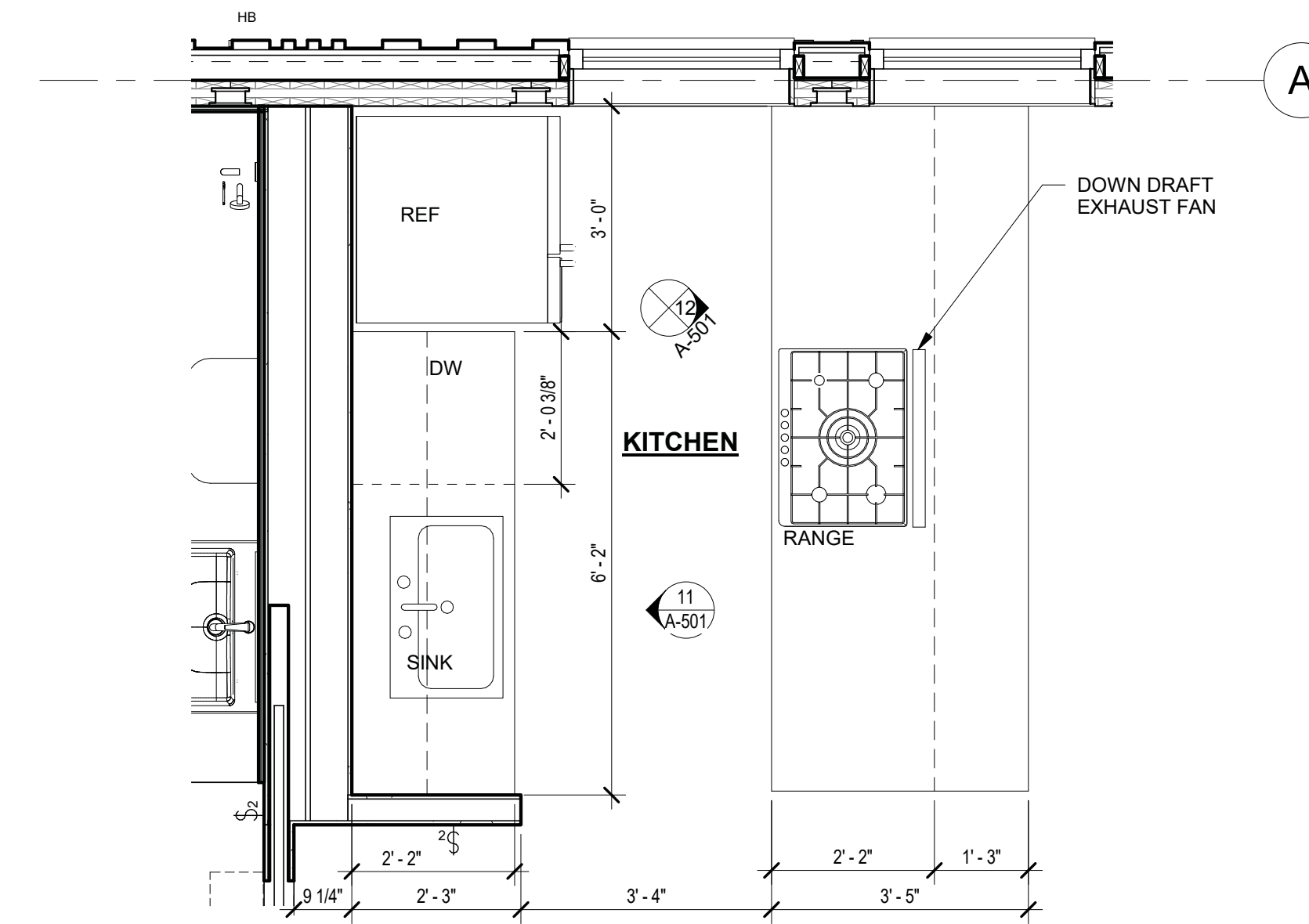
5 CLT WALL PANEL - BASE PLATE LAYOUT
1/2" = 1'-0"



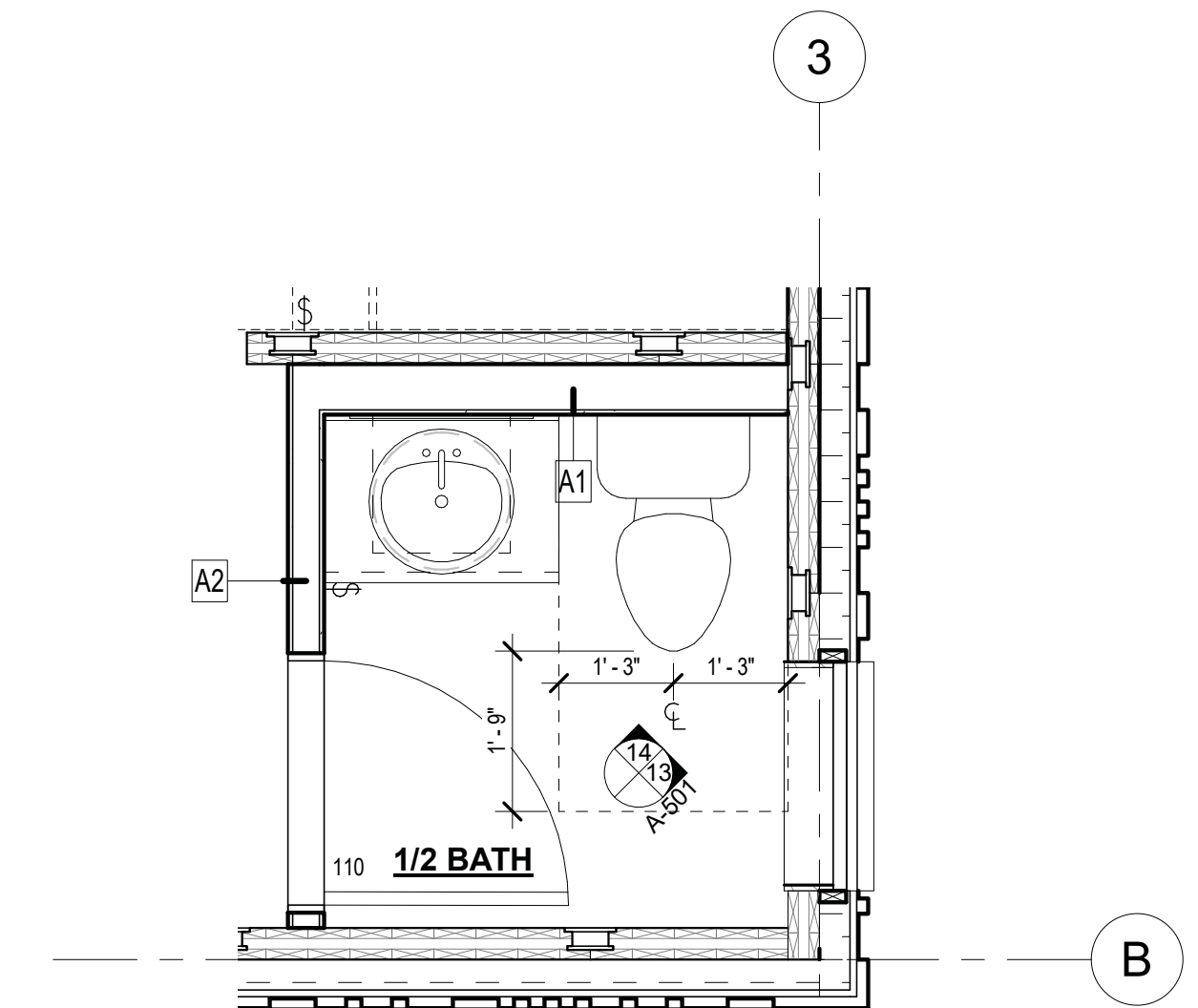
4 MASTER BATH
1/2" = 1'-0"



3 LEVEL 2 BATH
1/2" = 1'-0"



2 KITCHEN
1/2" = 1'-0"



1 LEVEL 1 - 1/2 BATH
1/2" = 1'-0"

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Issue Date: JANUARY 12, 2021	No. Description Date		
Drawn: _____ Author	C PERMIT RESUBMITTAL 1/12/21		
Checked: _____ Checker			
MJH Project No.: H94.008817			

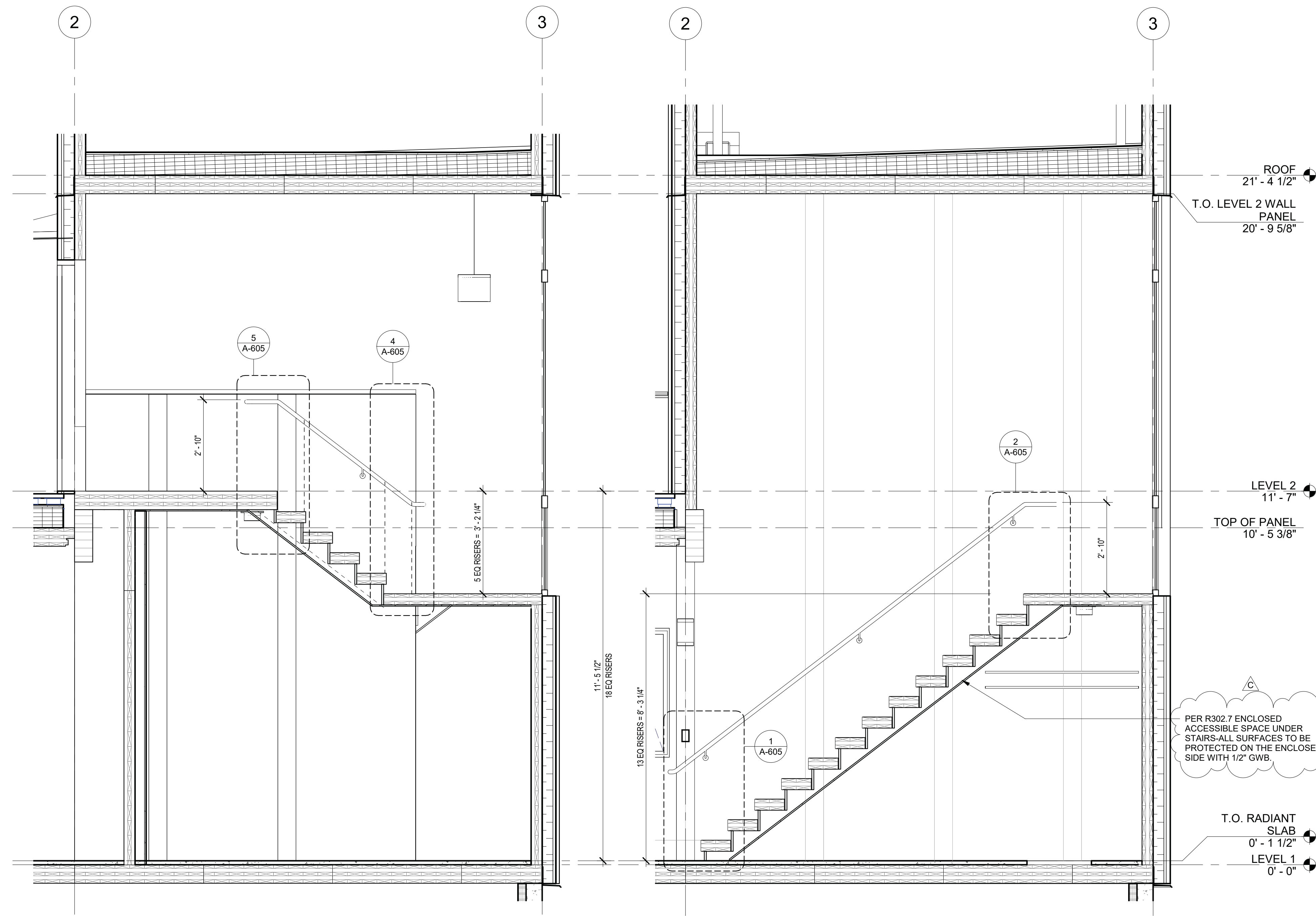
Matt's Place Spokane 1+

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JANUARY 12, 2021

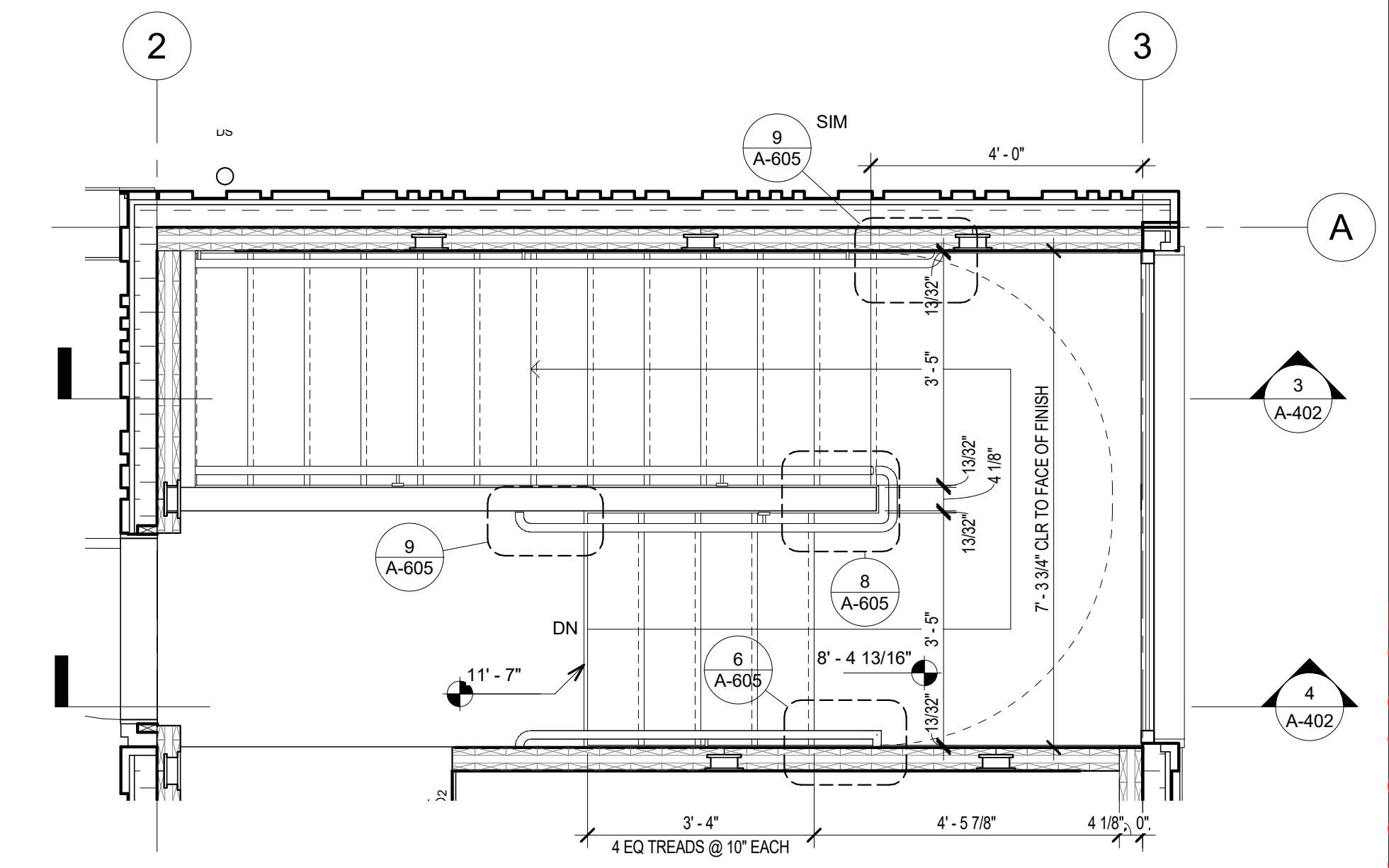
ARCHITECT	SHEET
The Miller Hull Partnership, LLP Architecture and Planning Polson Building 71 Columbia, Sixth Floor Seattle, WA 98104	ENLARGED PLANS A-401
Phone 206.682.6837 Fax 206.682.6892	

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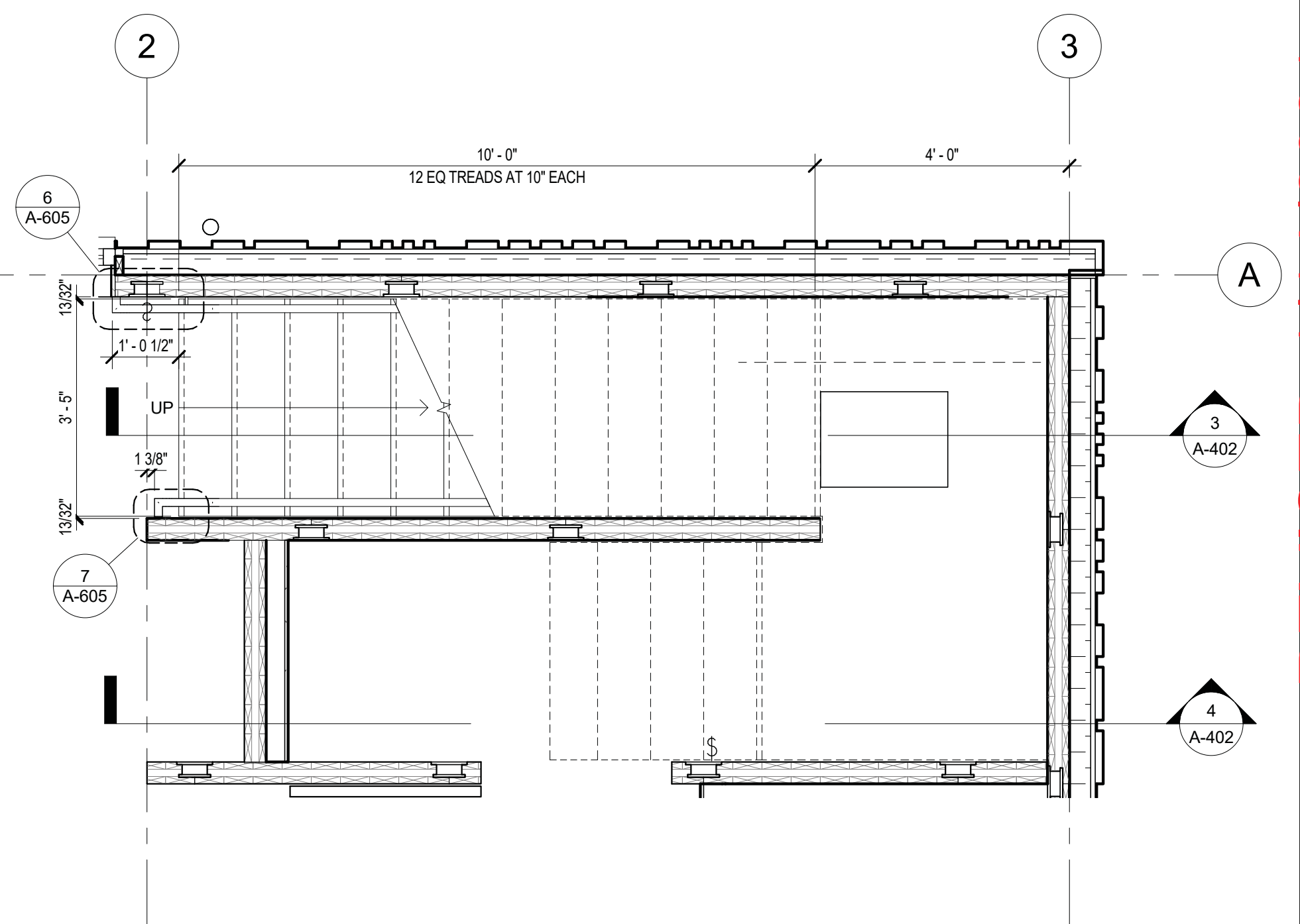


4 SECTION - STAIR N/S UPPER
1/2" = 1'-0"

3 SECTION - STAIR N/S LOWER
1/2" = 1'-0"



2 STAIR PLAN - LEVEL 2
1/2" = 1'-0"



1 STAIR PLAN - LEVEL 1
1/2" = 1'-0"

PER R302.7 ENCLOSED ACCESSIBLE SPACE UNDER STAIRS-ALL SURFACES TO BE PROTECTED ON THE ENCLOSED SIDE WITH 1/2" GWB.

T.O. RADIANT SLAB
0' - 1 1/2"
LEVEL 1
0' - 0"

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Issue Date: JANUARY 12, 2021	No. Description Date		
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Checked: Checker			
MJH Project No.: H94.008817			

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Issue Date: JANUARY 12, 2021	No. Description Date		
Drawn: Author	C PERMIT RESUBMITTAL 1/12/21		
Checked: Checker			
MJH Project No.: H94.008817			

CHECKED	REVISIONS	STAMP	CONSULTANT
Issue Date: JANUARY 12, 2021	No. Description Date		
Drawn: Author	C PERMIT RESUBMITTAL 1/12/21		
Checked: Checker			
MJH Project No.: H94.008817			

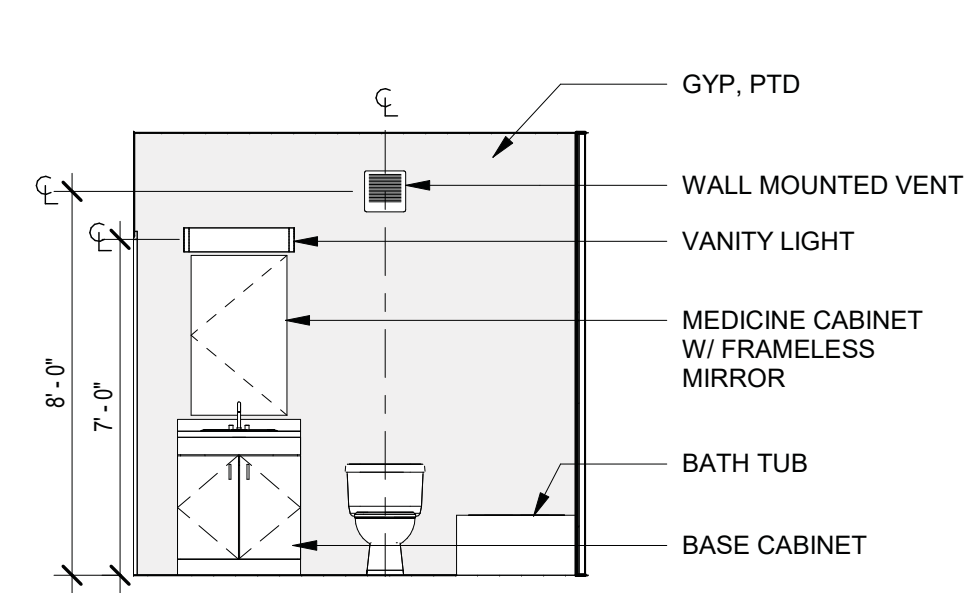
Matt's Place Spokane 1+
1116 East Francis Avenue | Spokane, WA 99208

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JANUARY 12, 2021

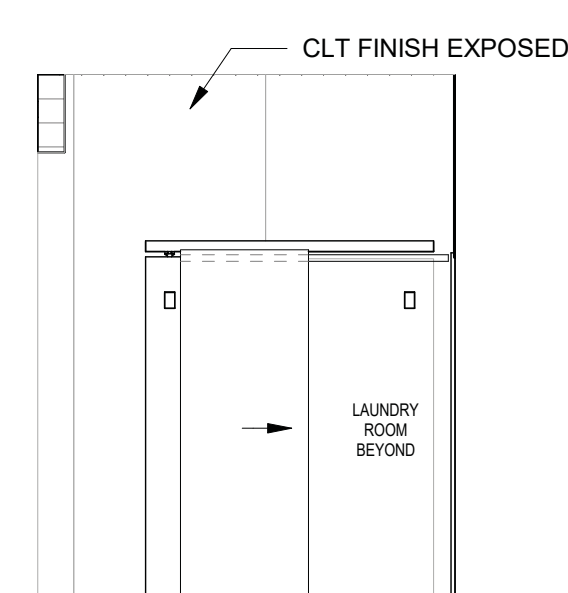
ARCHITECT	SHEET
The Miller Hull Partnership, LLP Architecture and Planning Polson Building 71 Columbia, Sixth Floor Seattle, WA 98104	VERTICAL CIRCULATION A-402
Phone 206.682.6837 Fax 206.682.5892	

REVISED 1/14/2021 B1921045

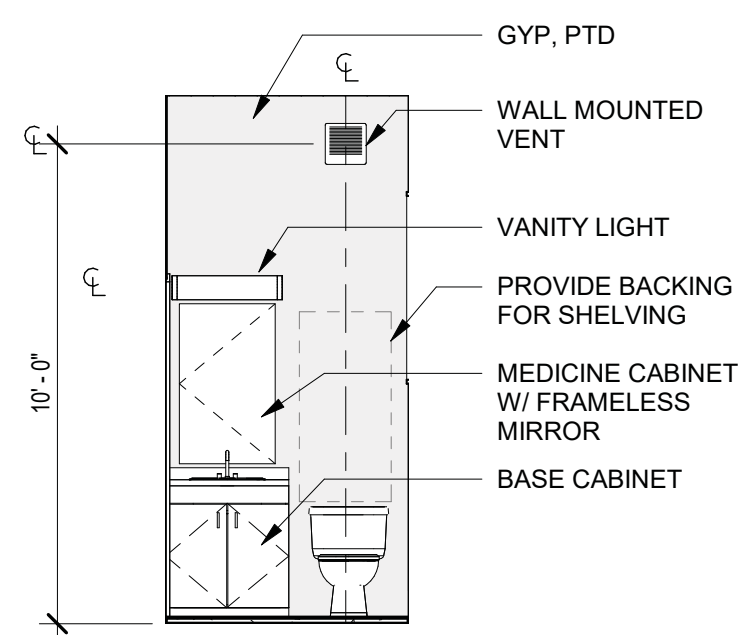
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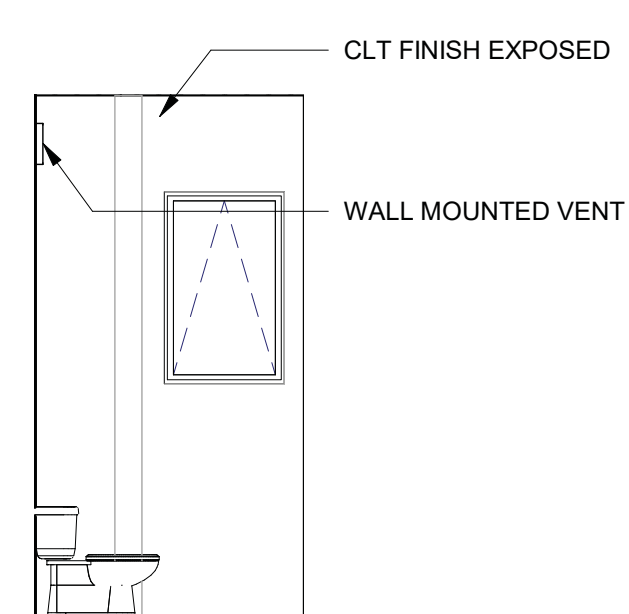
16 L2 BATH WEST
1/4" = 1'-0"



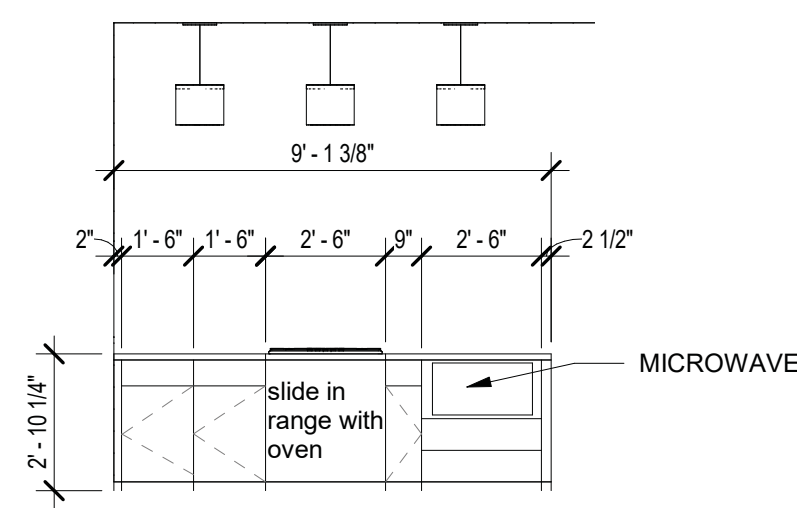
15 ENTRY - WEST
1/4" = 1'-0"



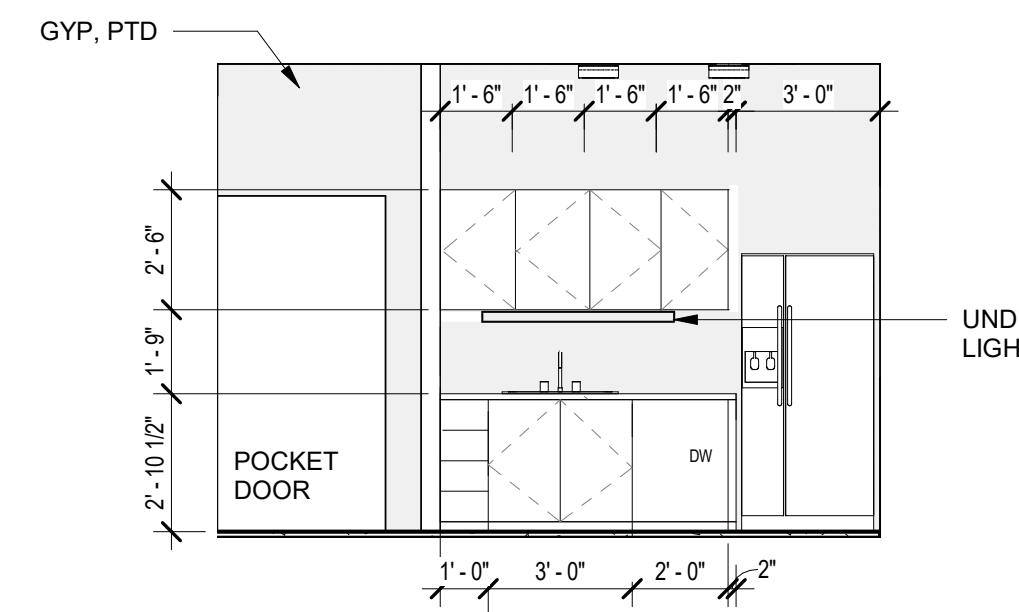
14 1/2 BATH - WEST
1/4" = 1'-0"



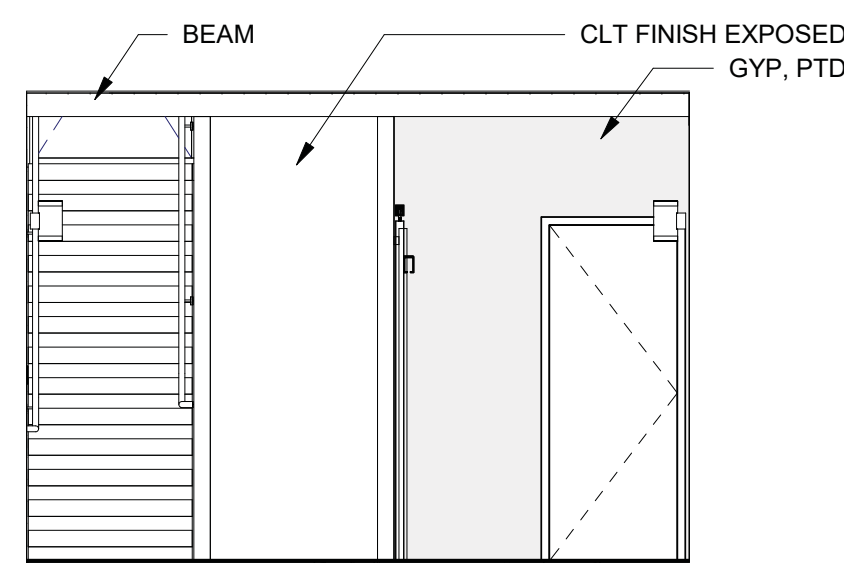
13 1/2 BATH - NORTH
1/4" = 1'-0"



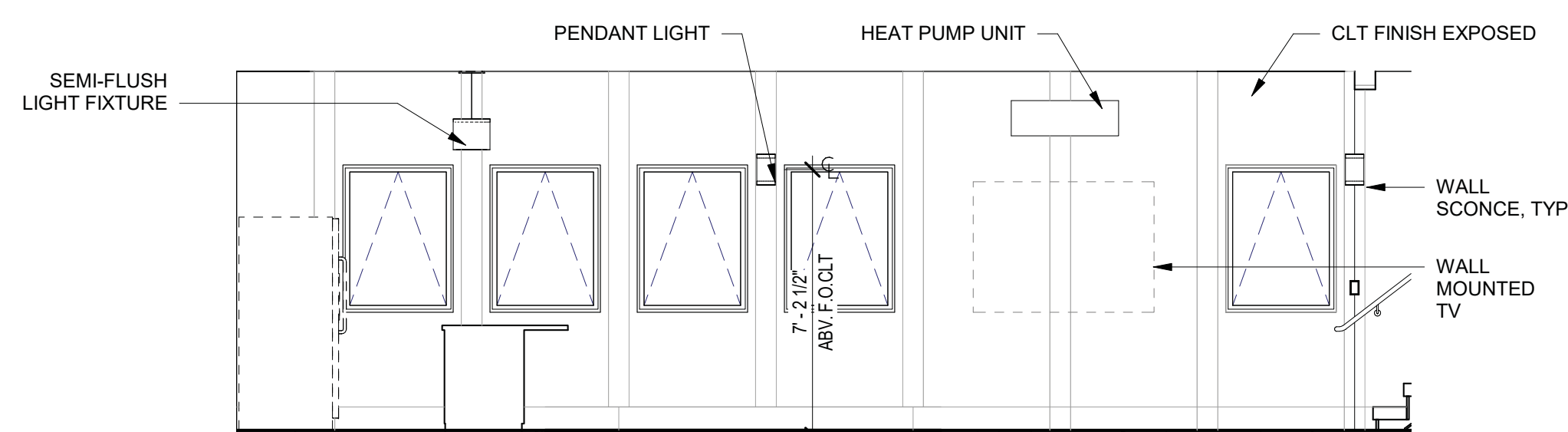
12 KITCHEN - NORTH
1/4" = 1'-0"



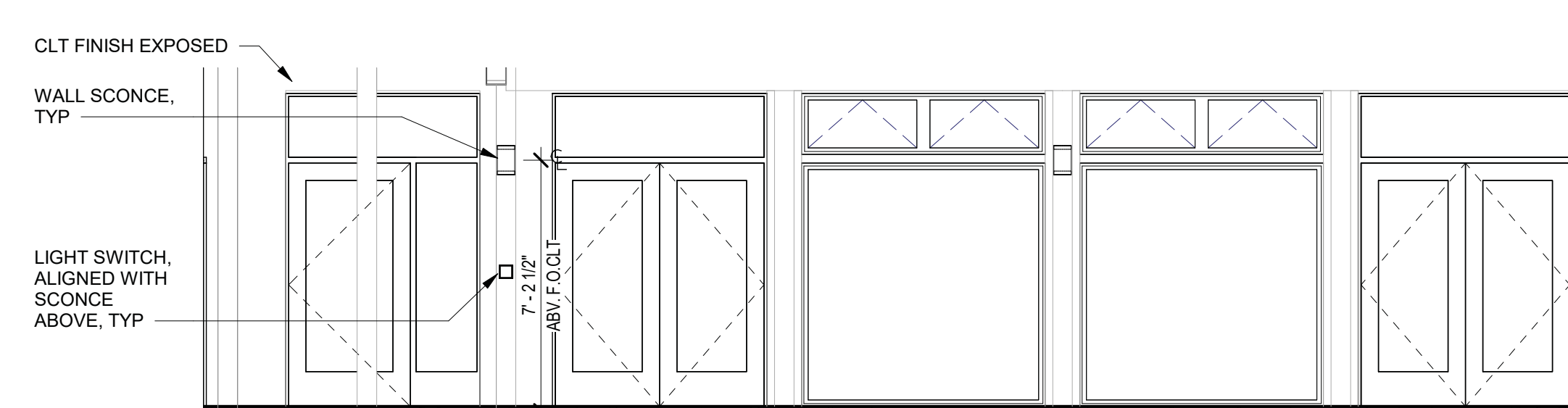
11 KITCHEN - SOUTH
1/4" = 1'-0"



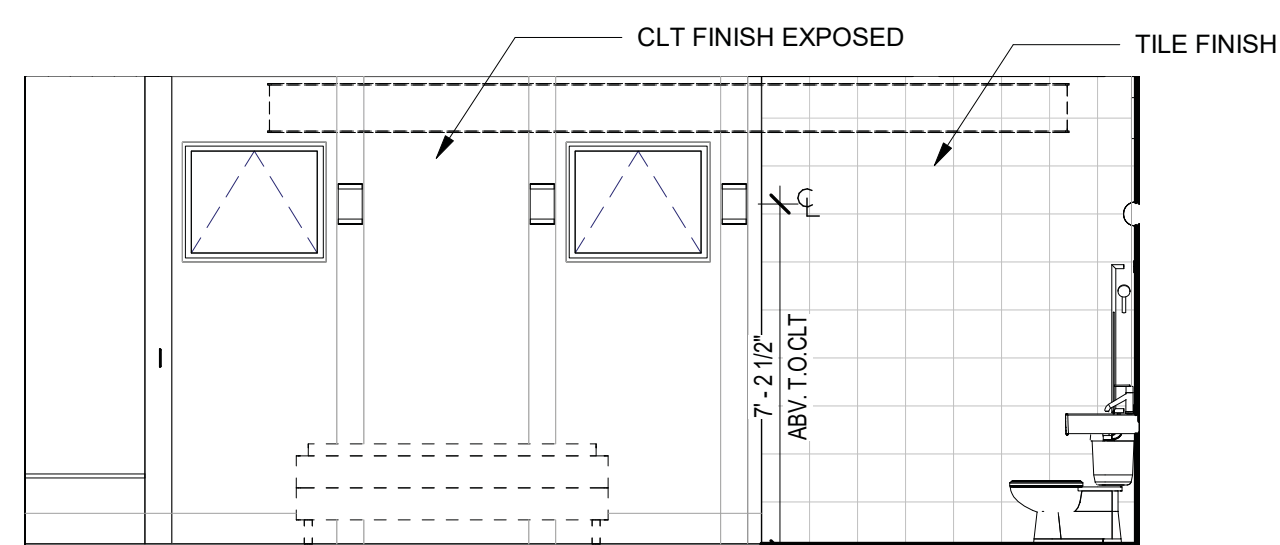
10 LIVING ROOM - NORTH
1/4" = 1'-0"



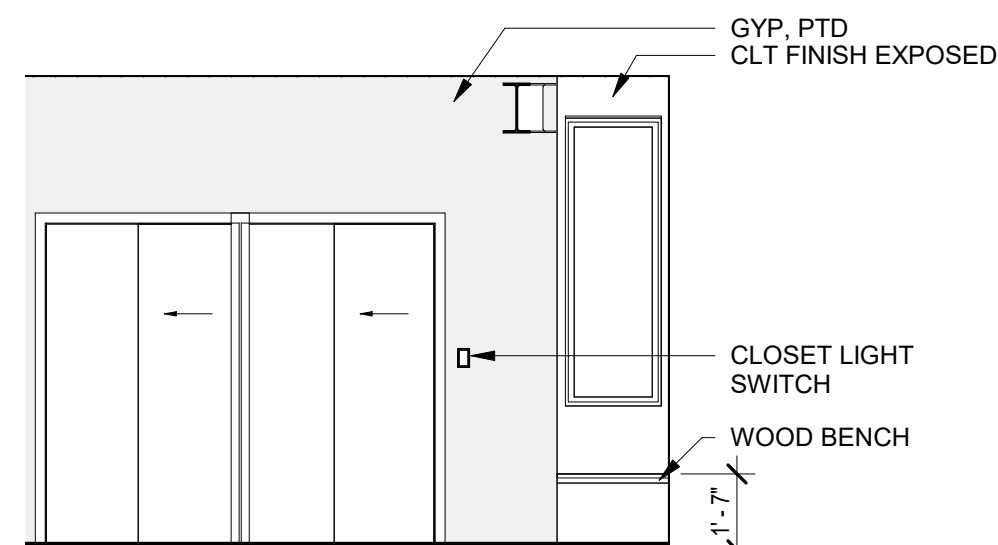
9 LIVING ROOM - WEST ELEVATION
1/4" = 1'-0"



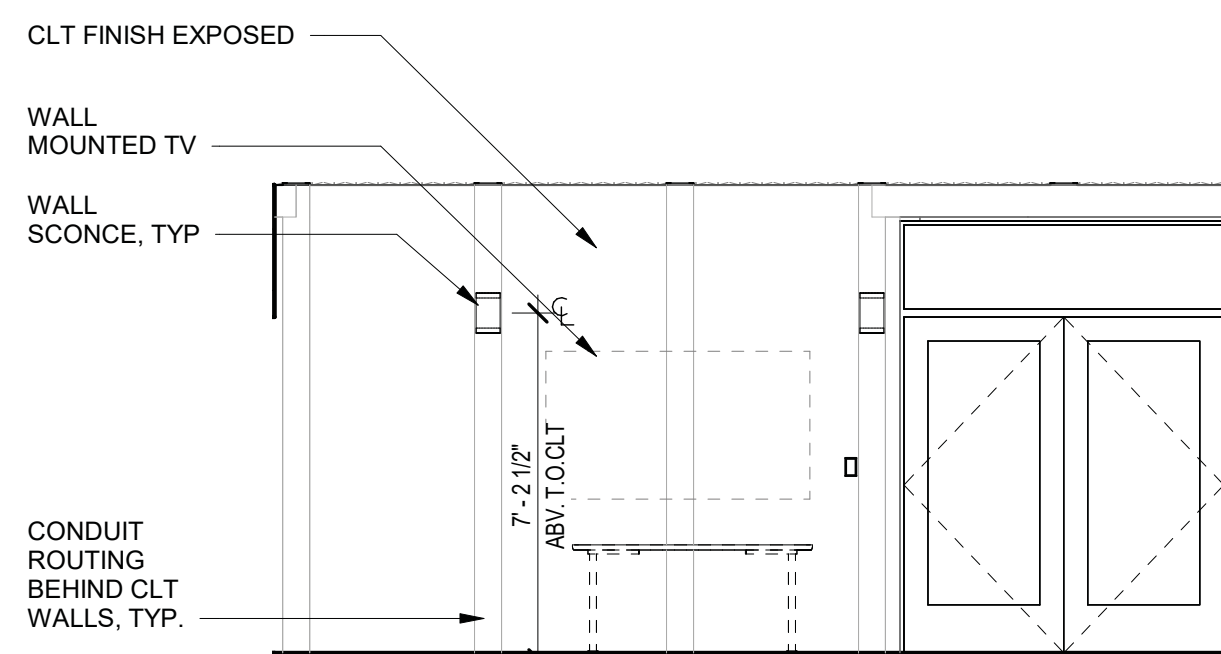
7 LIVING ROOM - EAST ELEVATION
1/4" = 1'-0"



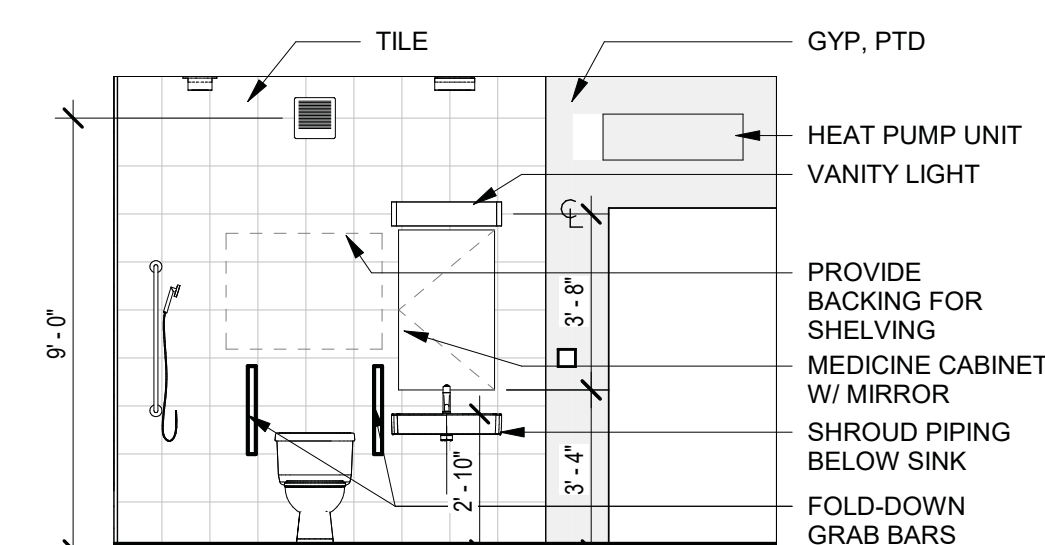
4 M BEDROOM - WEST ELEVATION
1/4" = 1'-0"



3 M BEDROOM - SOUTH ELEV
1/4" = 1'-0"



2 M BEDROOM - EAST ELEVATION
1/4" = 1'-0"



1 M BEDROOM - NORTH
1/4" = 1'-0"

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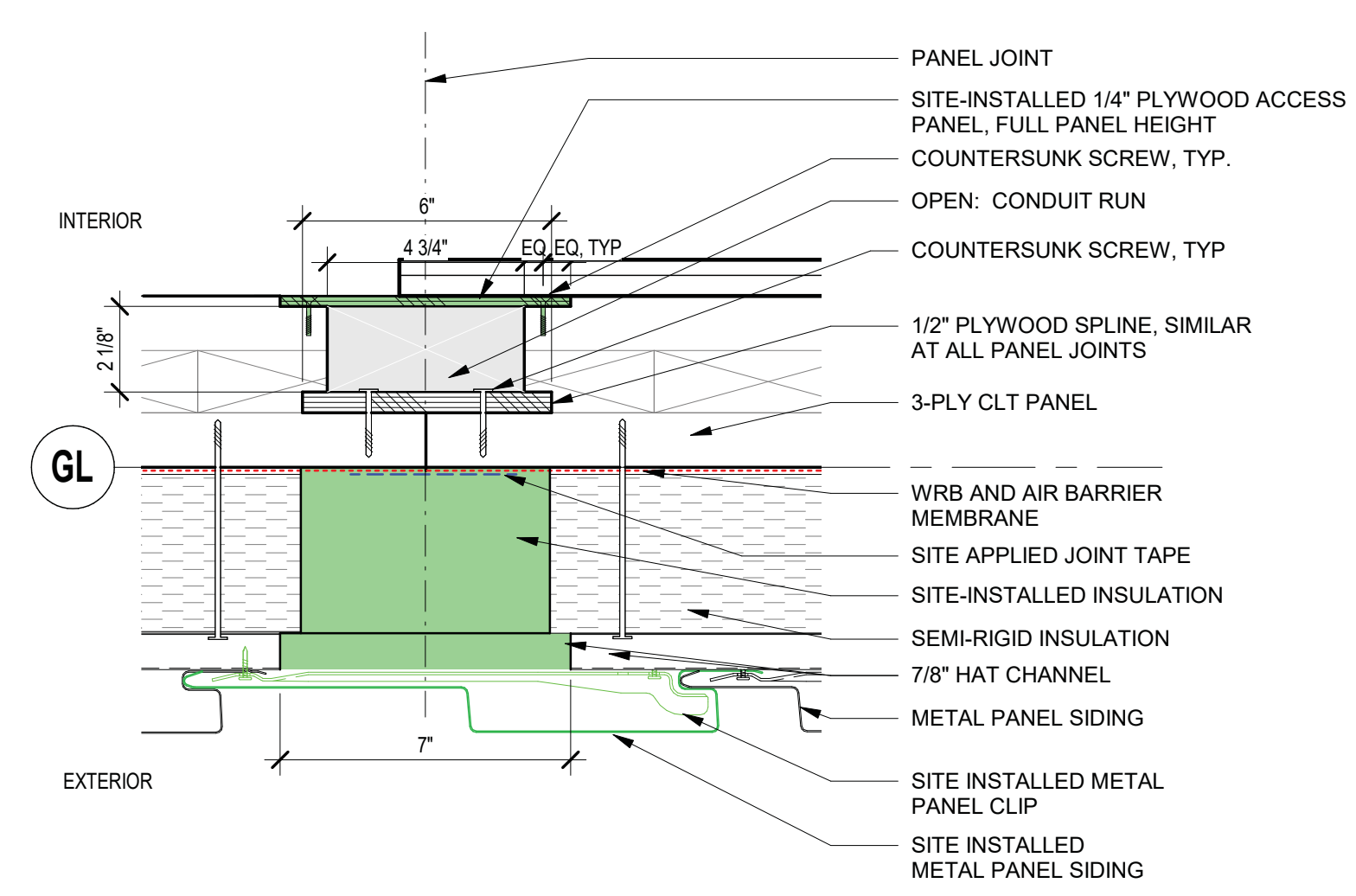
Matt's Place Spokane 1+
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JANUARY 12, 2021

ARCHITECT	SHEET
The Miller Hull Partnership, LLP Architecture and Planning Polson Building 71 Columbia, Sixth Floor Seattle, WA 98104 Phone 206.682.6837 Fax 206.682.5892	INTERIOR ELEVATIONS A-501

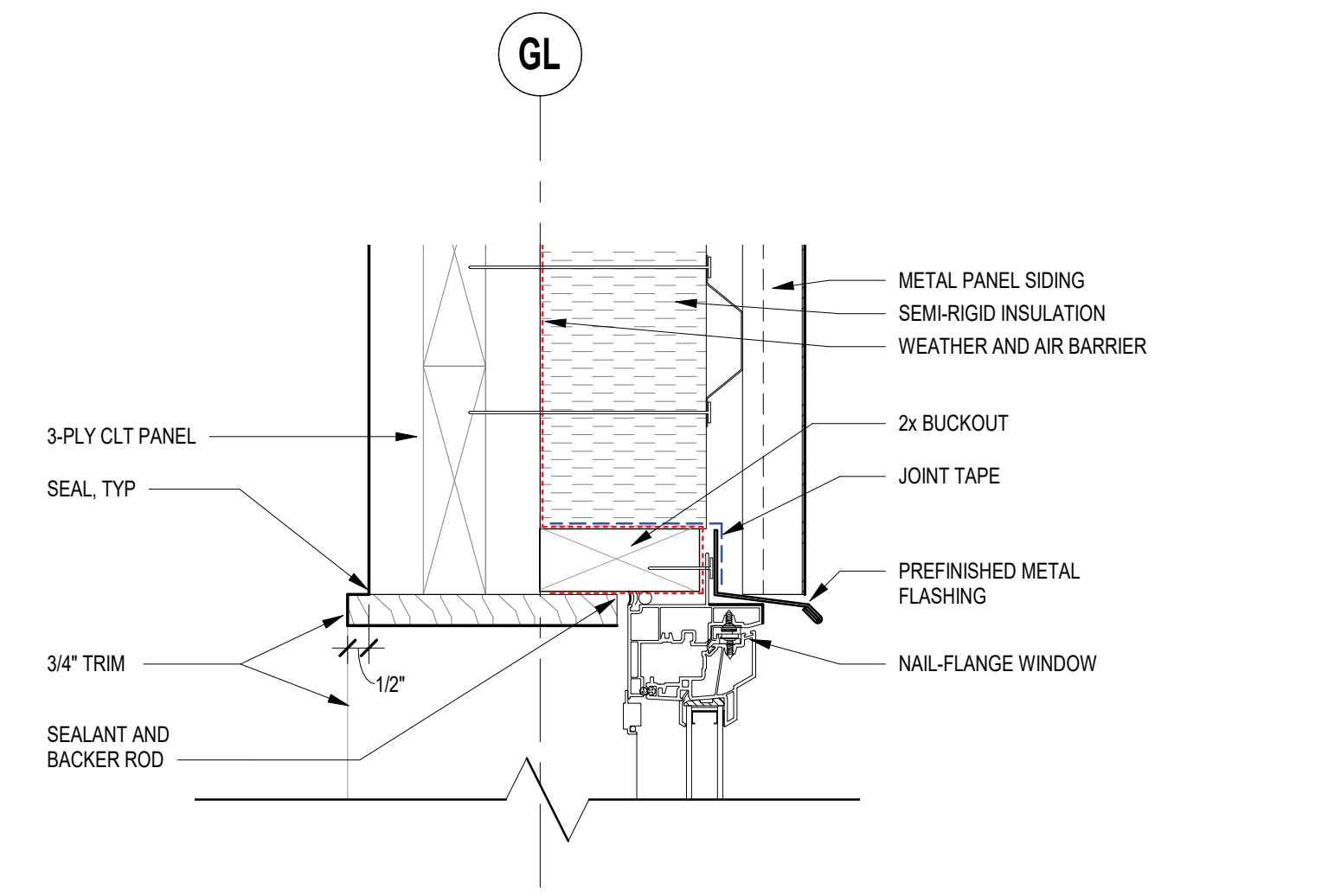
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EXTERIOR PRODUCT BASIS OF DESIGN SPECIFICATIONS

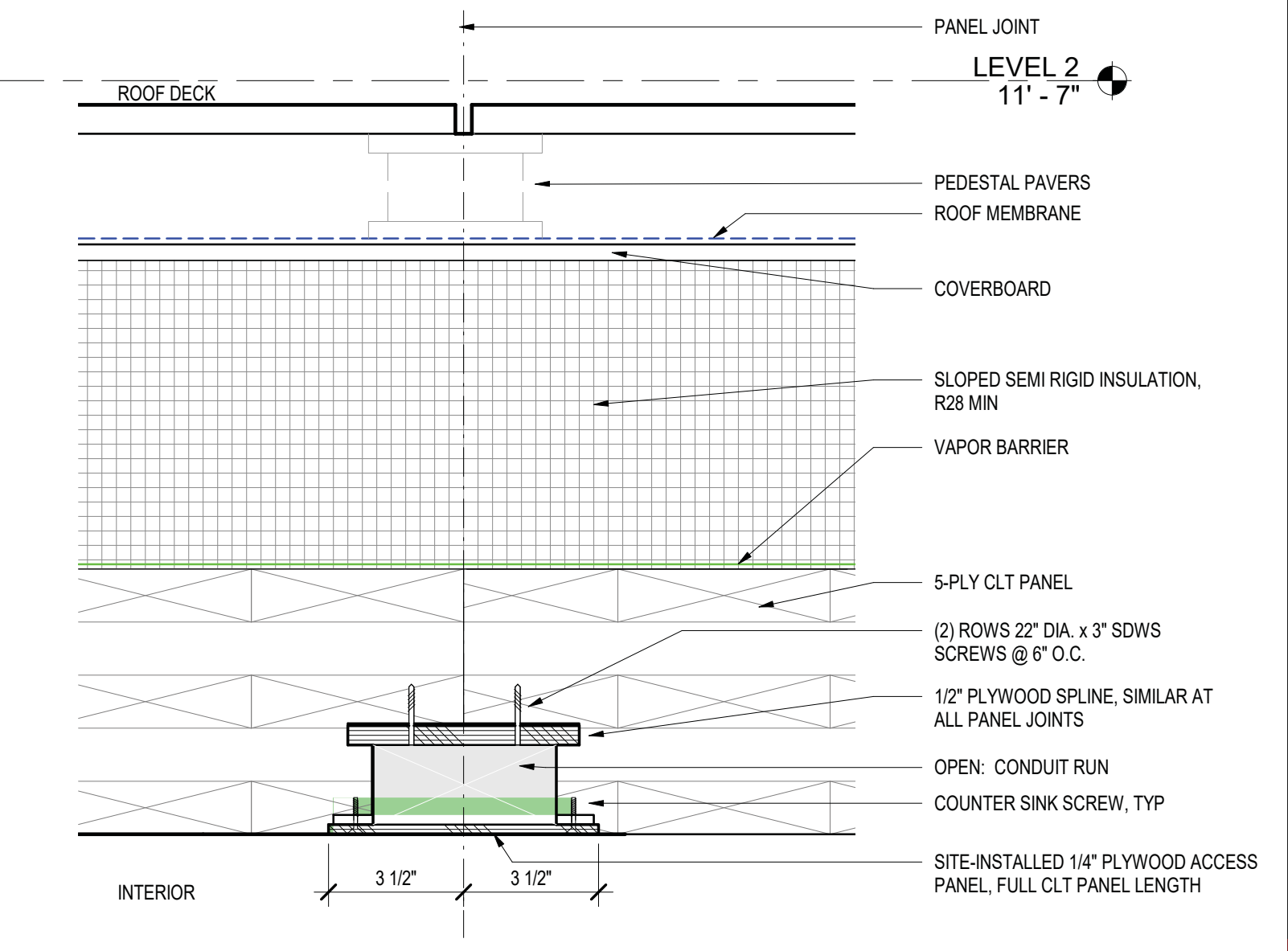
METAL PANEL SIDING	AESPAN PRESTIGE SERIES, MIDNIGHT BRONZE
SEMI-RIGID INSULATION	ROCKWOOL COMFORTBOARD 110
WEATHER AND AIR BARRIER	VAPROSHIELD WRAPSHIELD SA
JOINT TAPE	3" VAPROSHIELD VAPROTAPE
CLT FINISH	PANEL FACES: SANSIN KP-12, ON PANEL END GRAIN: SANSIN END SEAL
WOOD SOFFIT	2X6 CEDAR, FINISH: SANSIN KP-12
WINDOW AND DOOR TRIM	DOUGLAS FIR TO MATCH CLT



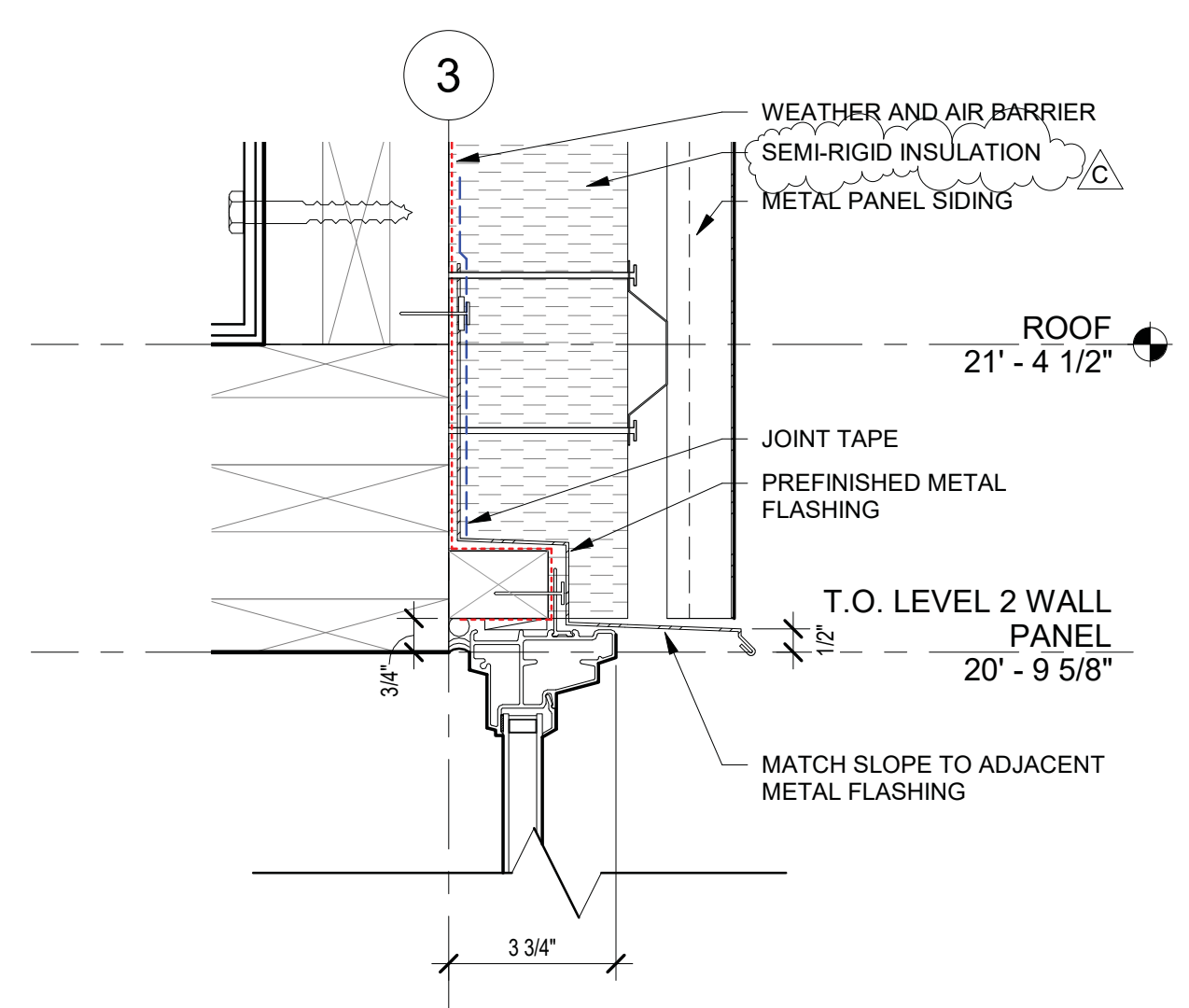
13 SPLINE DTL- SITE-INSTALLED SPLINE PLUG
3" = 1'-0"



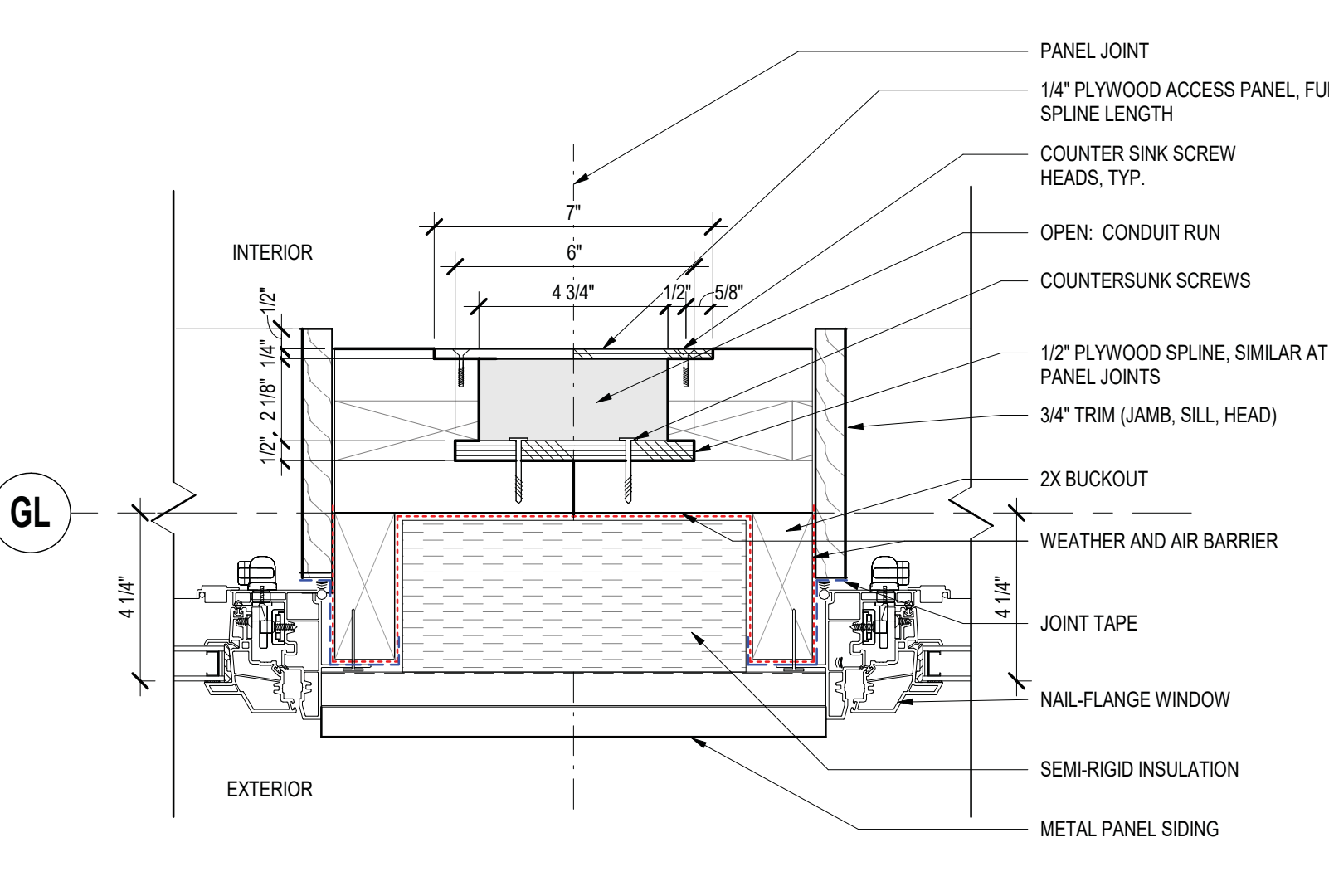
12 WINDOW HEAD, TYP.
3" = 1'-0"



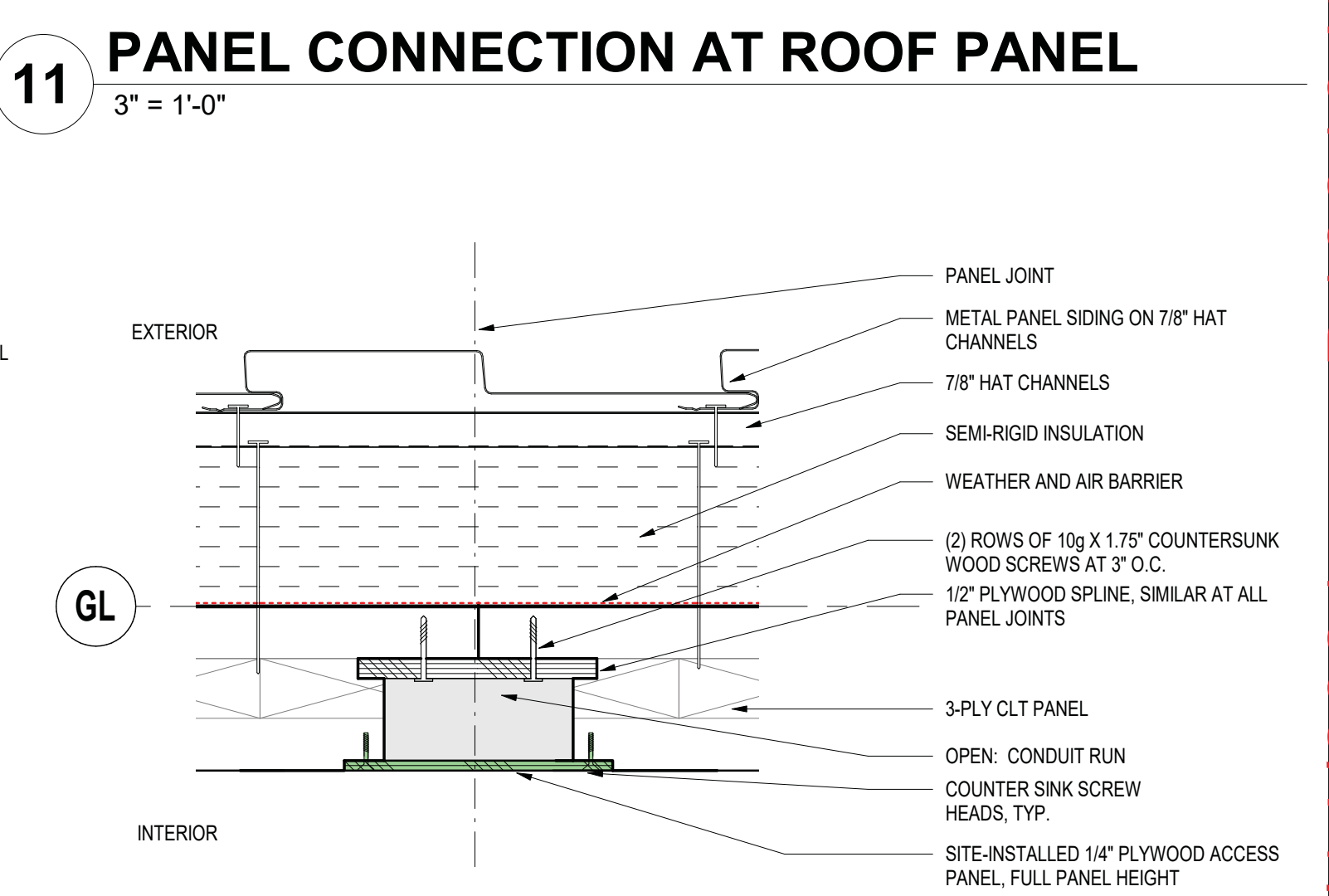
11 PANEL CONNECTION AT ROOF PANEL
3" = 1'-0"



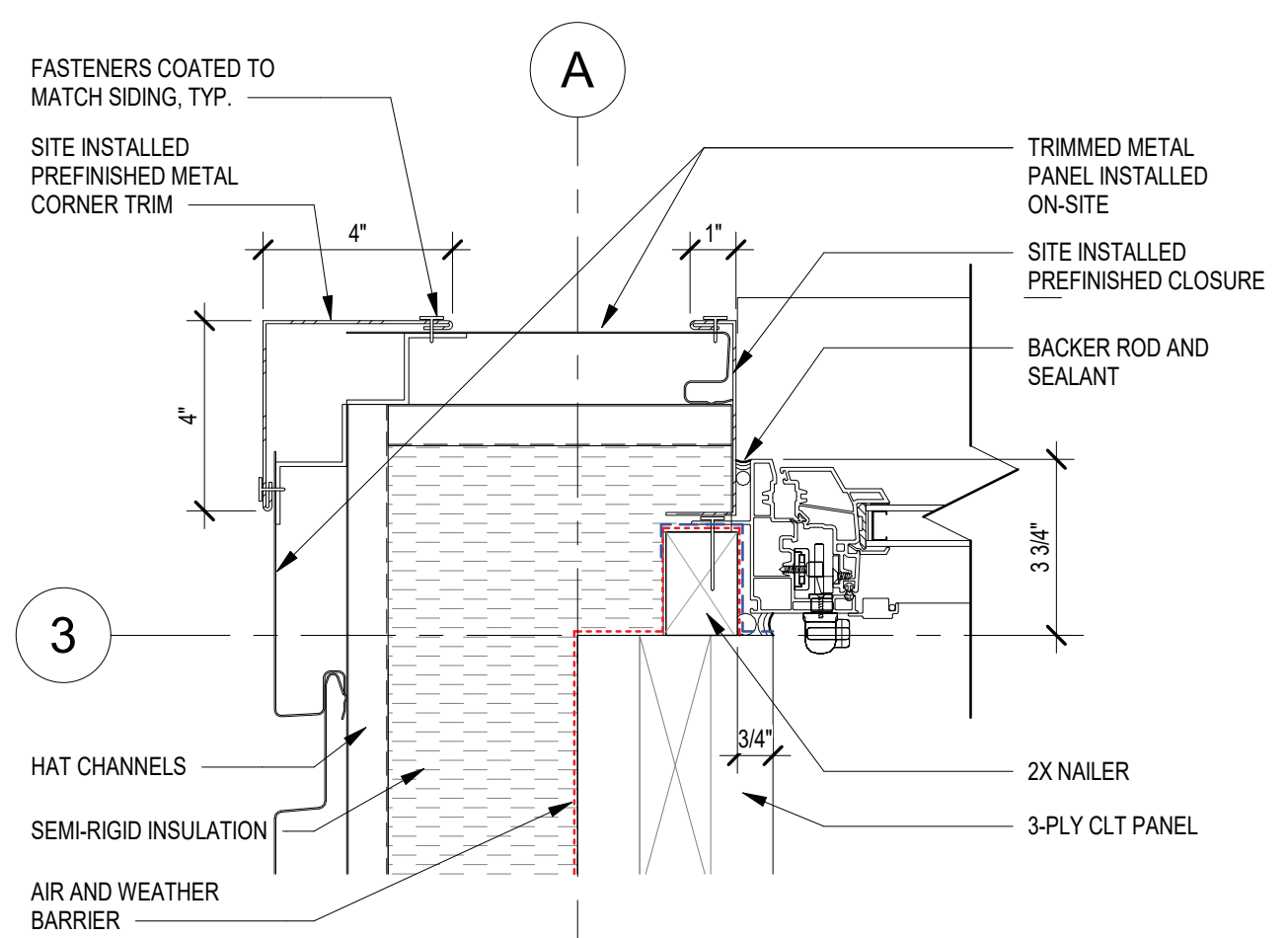
7 DETAIL @ STAIR WINDOW - HEAD
3" = 1'-0"



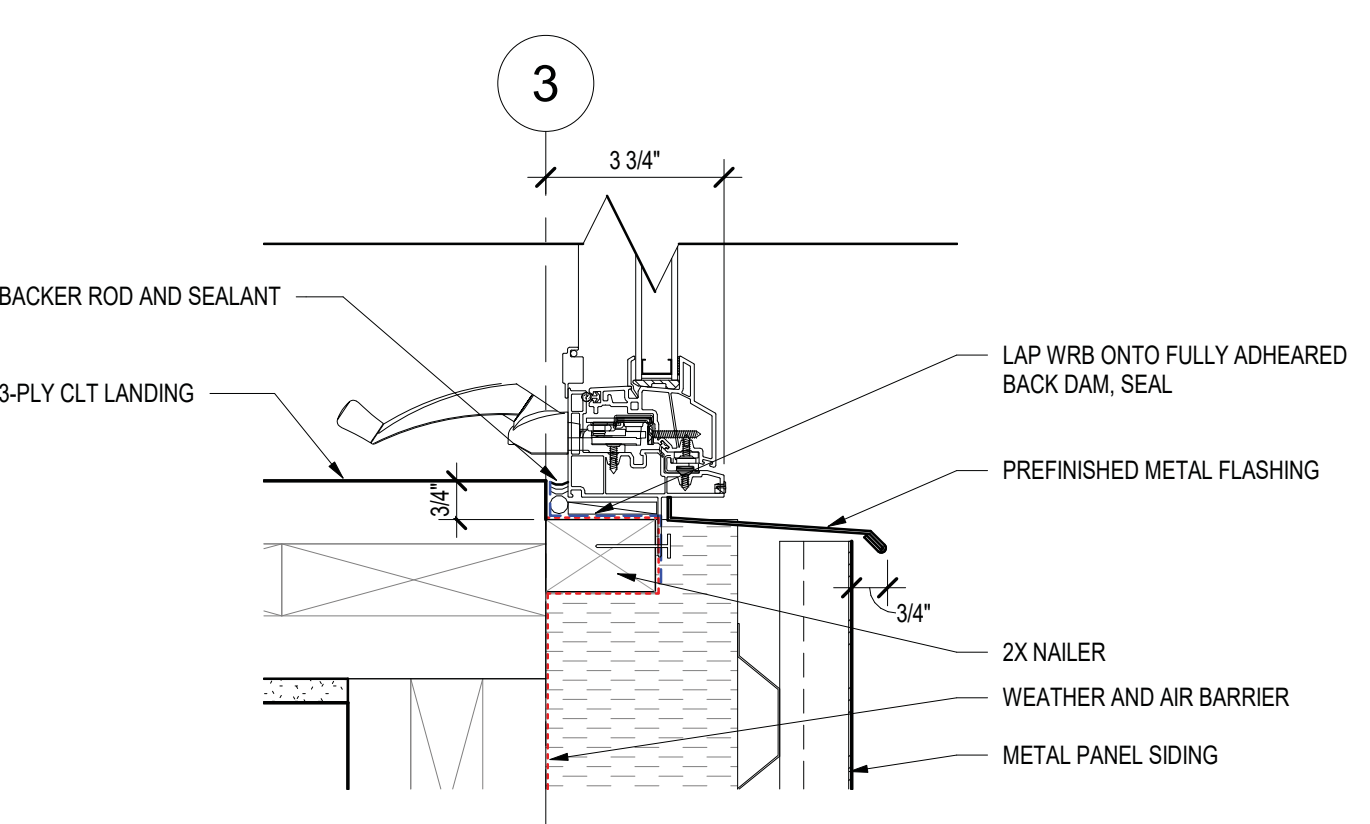
6 WINDOW JAMB, TYP.
3" = 1'-0"



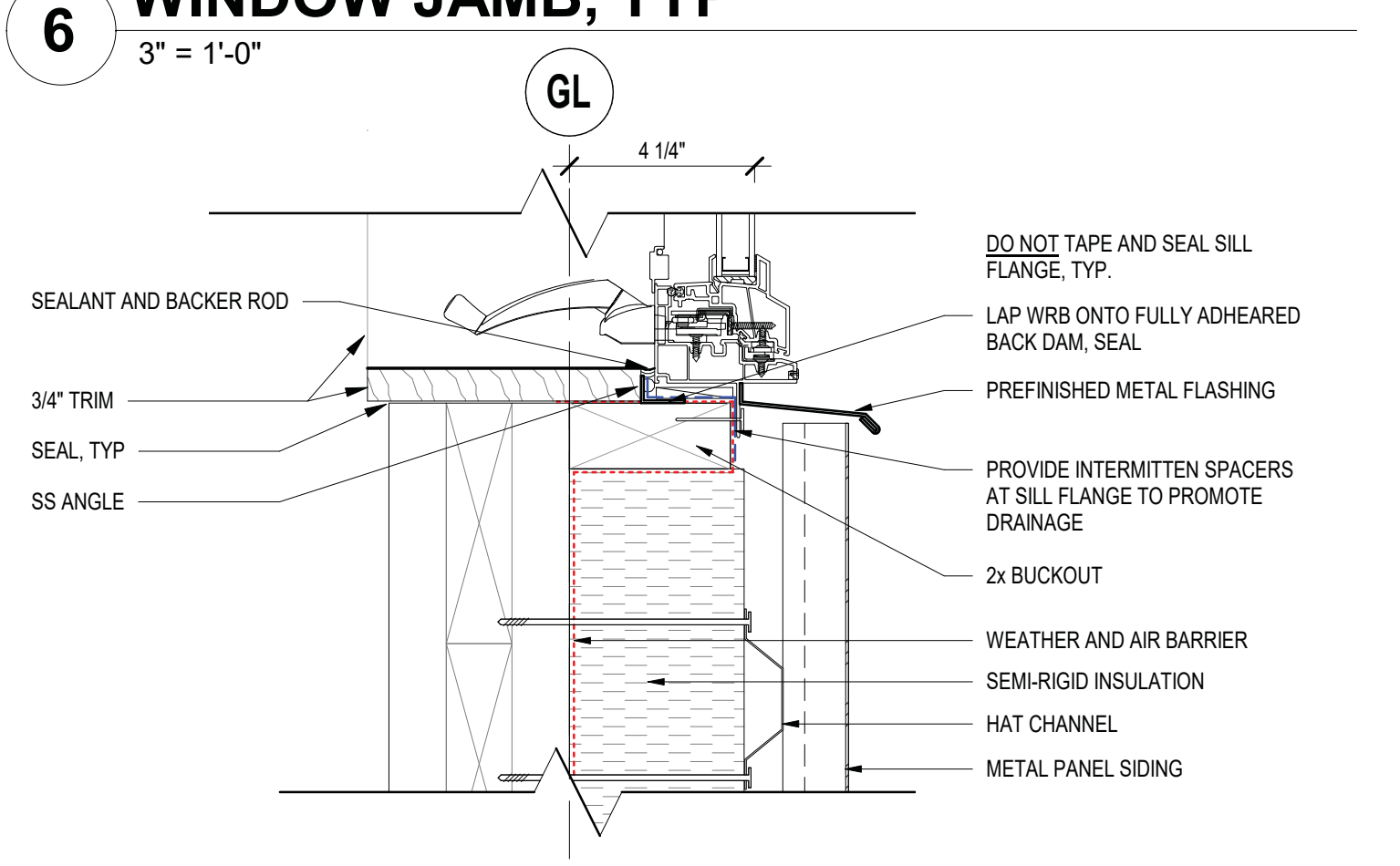
5 SPLINE DETAIL AT SHOP JOINED PANELS
3" = 1'-0"



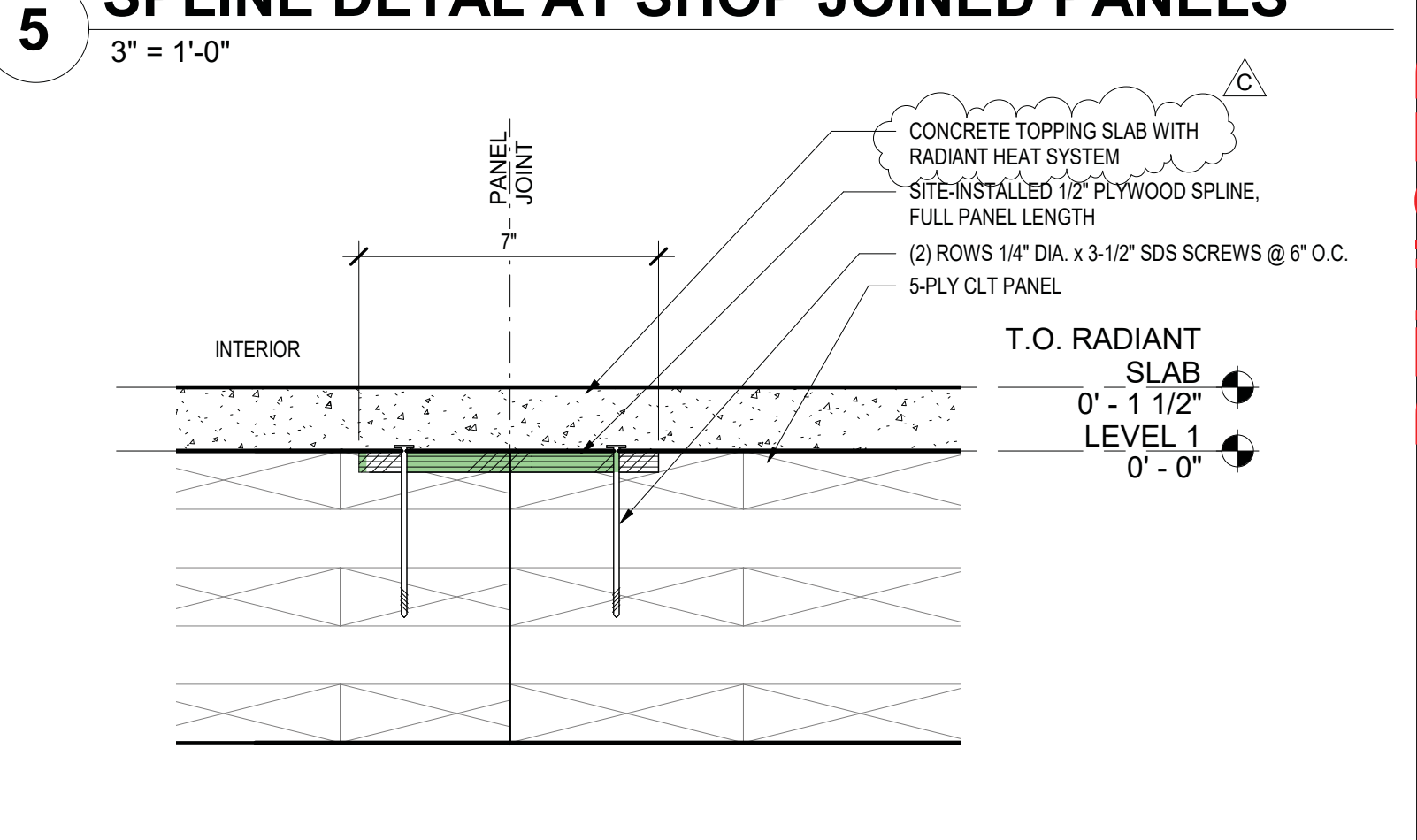
4 DETAIL @ STAIR WINDOW JAMB
3" = 1'-0"



3 DETAIL @ STAIR WINDOW - SILL
3" = 1'-0"



2 WINDOW SILL, TYP.
3" = 1'-0"



1 PANEL CONNECTION AT FLOOR, LEVEL 1
3" = 1'-0"

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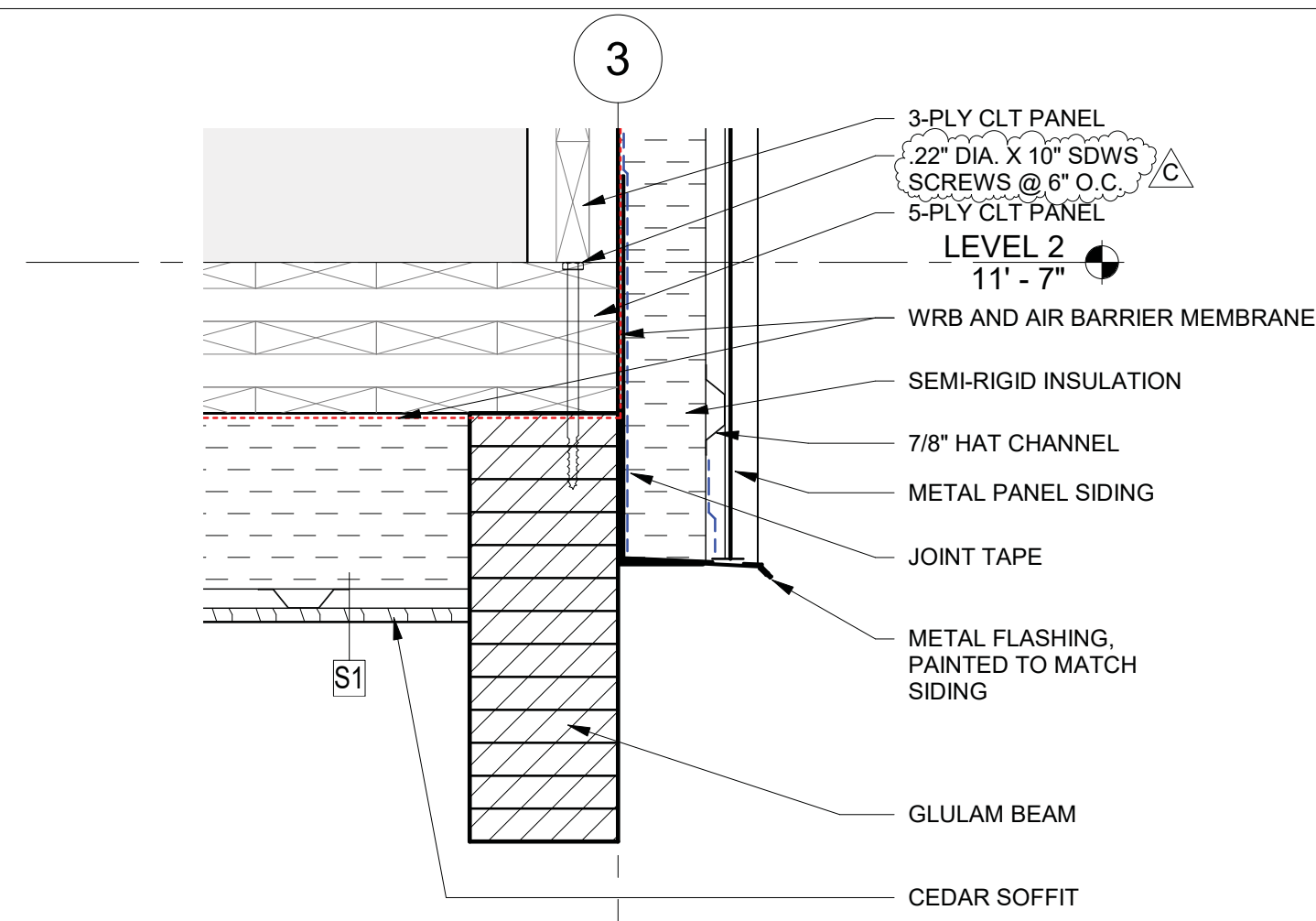
No.	Description	Date
C	PERMIT RESUBMITTAL	1/12/21

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CONSULTANT
REGISTERED ARCHITECT
BRIAN COOPER
STATE OF WASHINGTON
PROFESSIONAL ENGINEER

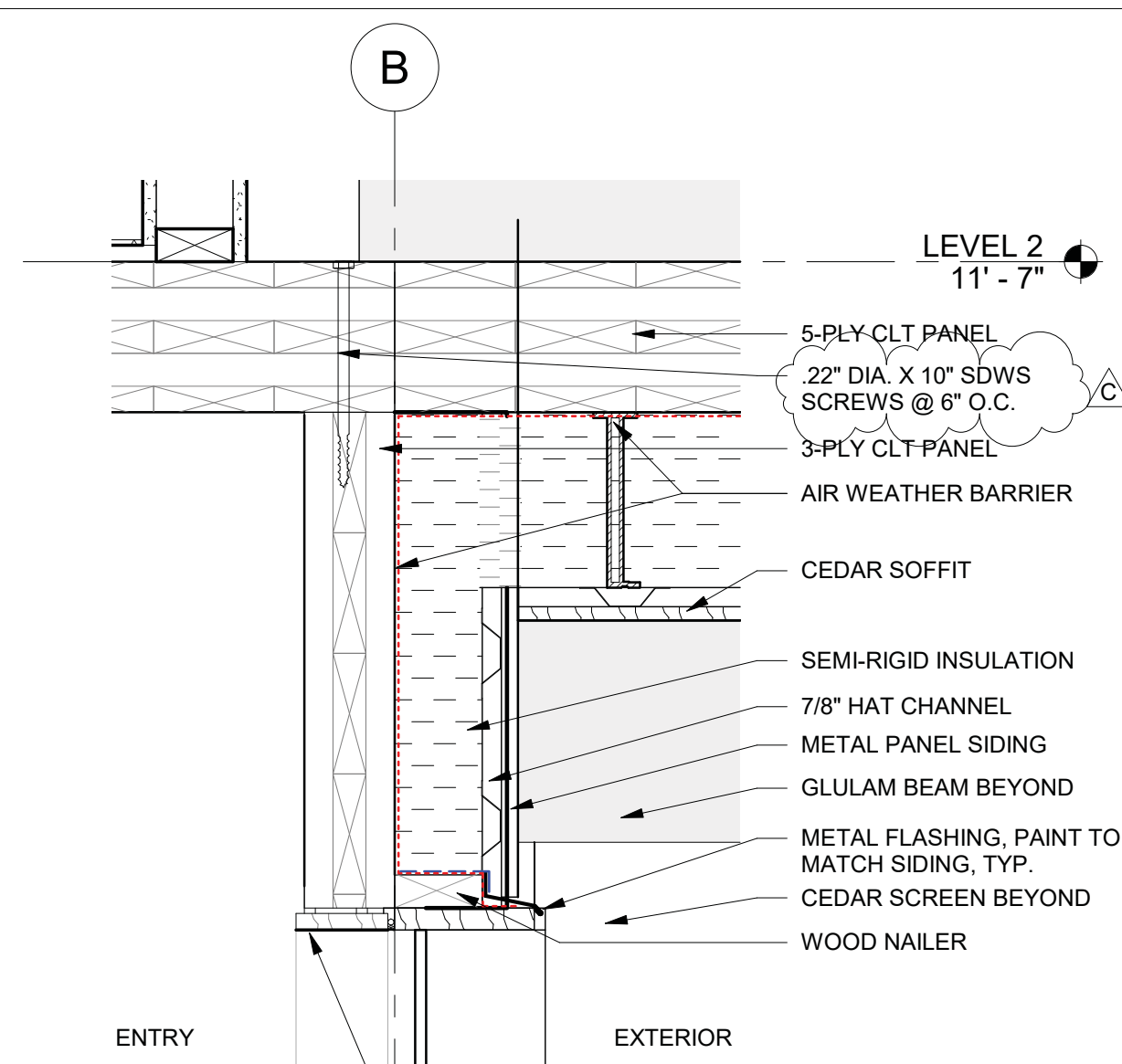
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ARCHITECT
The Miller Hull Partnership, LLP
Architecture and Planning
Polson Building
71 Columbia, Sixth Floor
Seattle, WA 98104
Phone 206.682.6837
Fax 206.682.5892
SHEET
EXTERIOR DETAILS
A-601

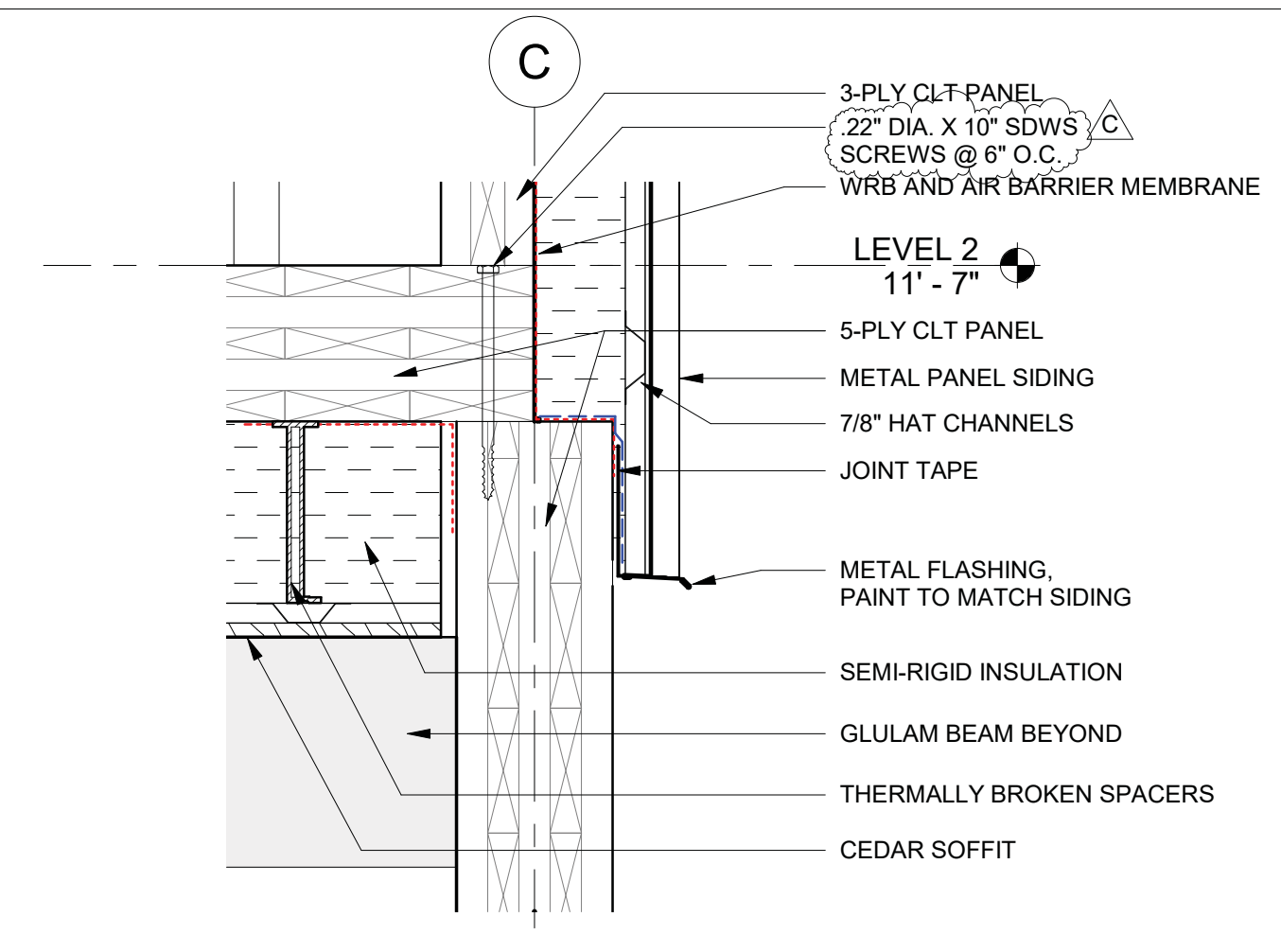
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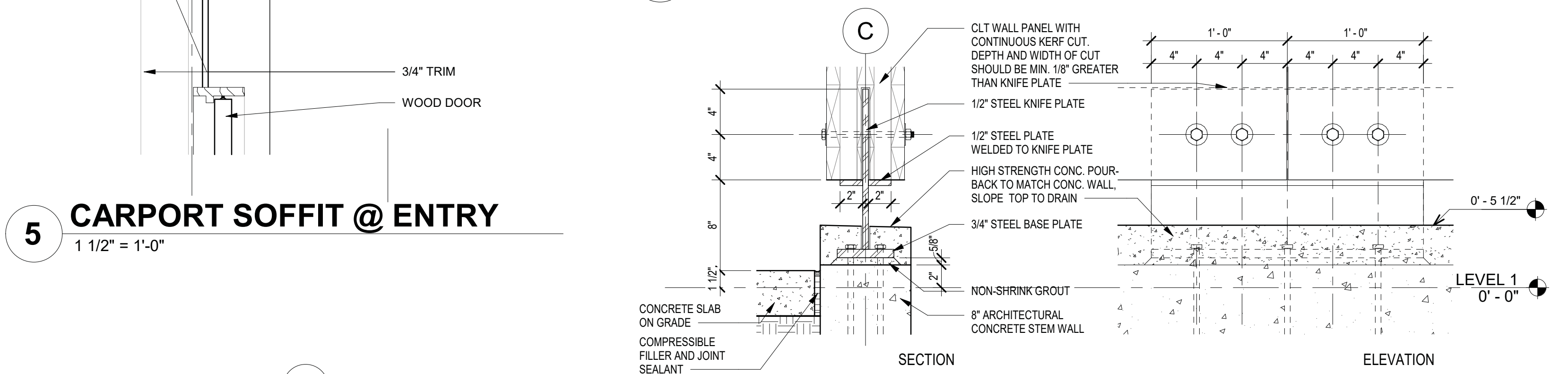
6 CARPORT SOFFIT AT GLULAM BEAM
1 1/2" = 1'-0"



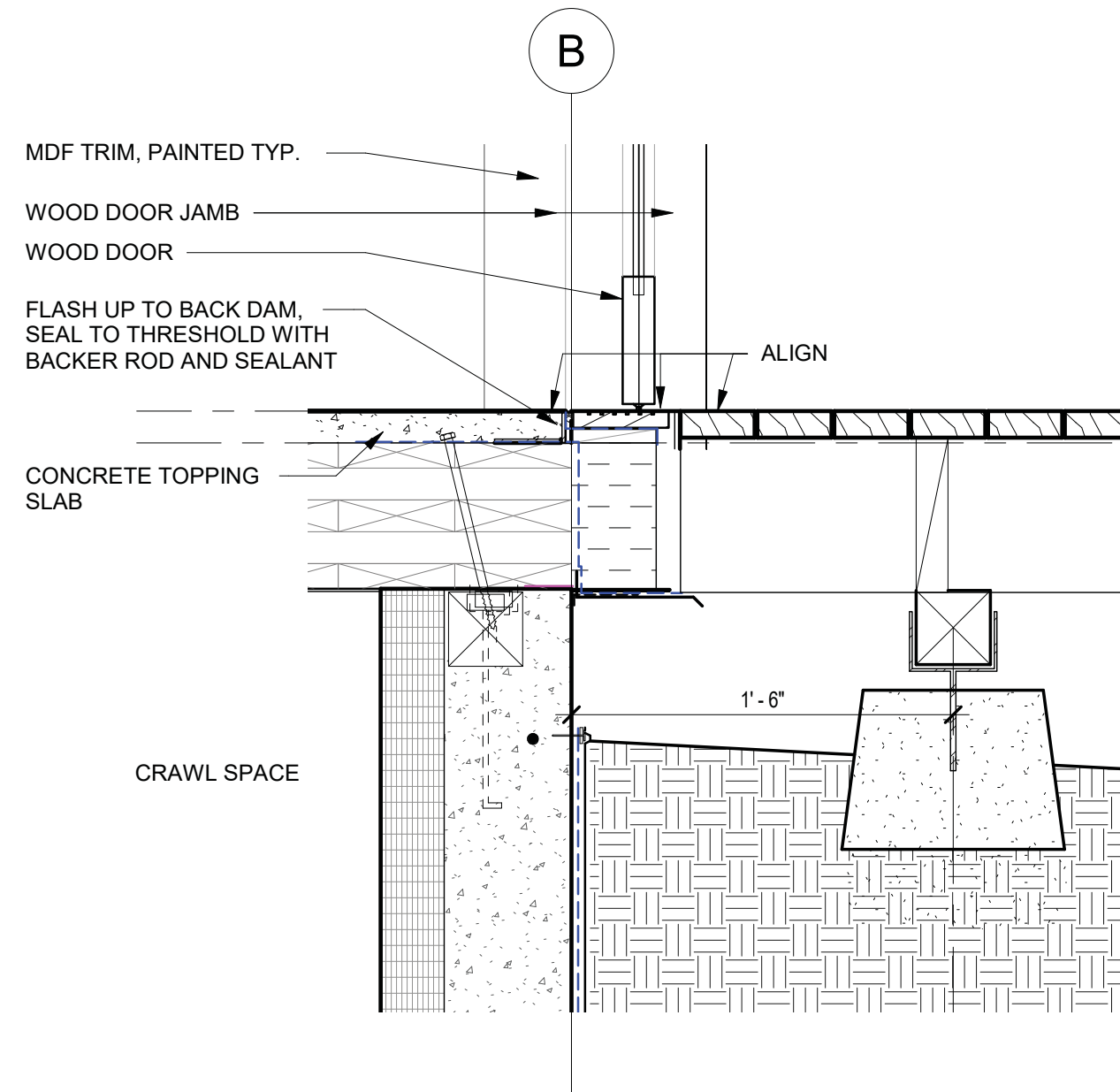
5 CARPORT SOFFIT @ ENTRY
1 1/2" = 1'-0"



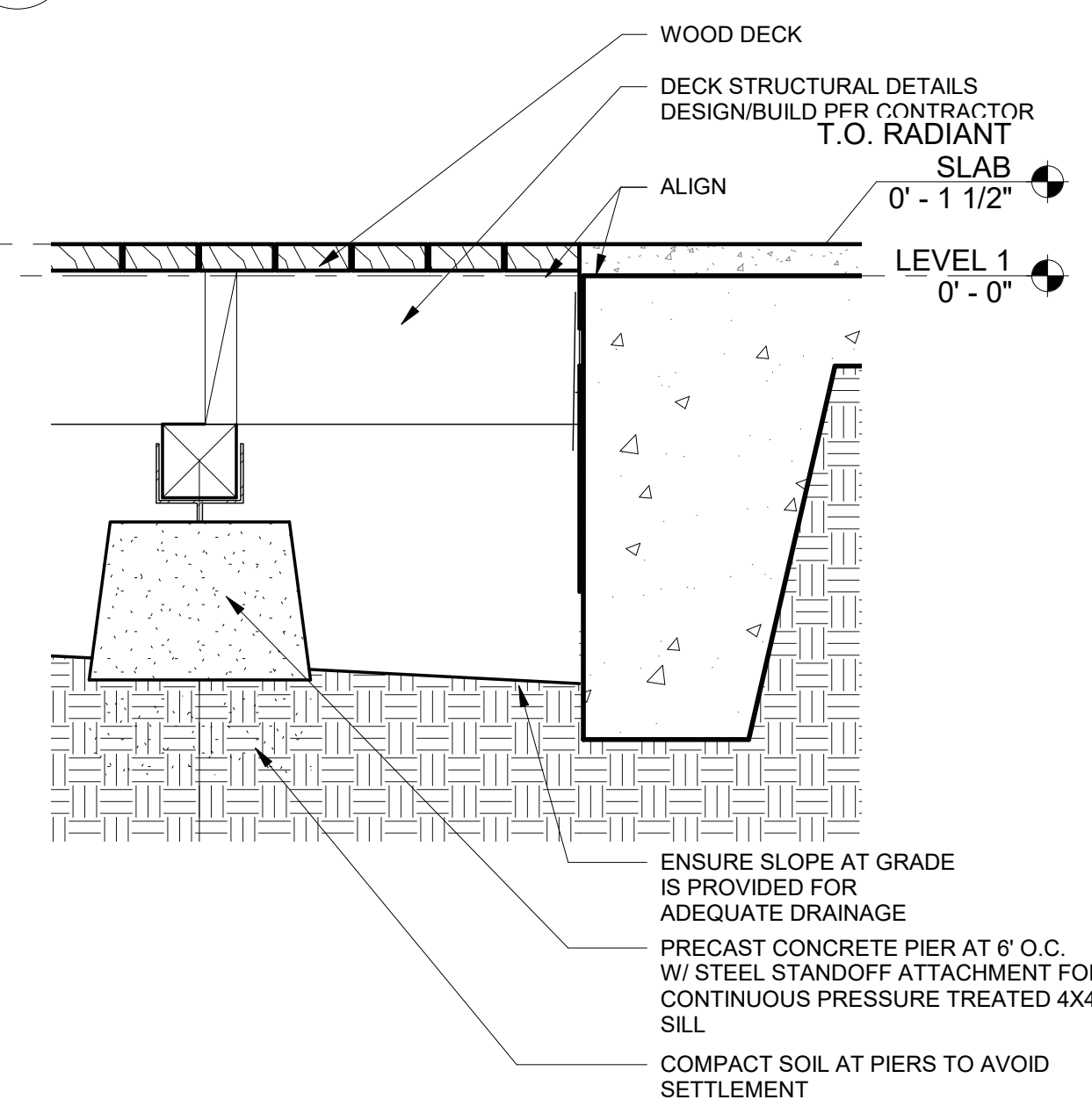
4 CARPORT SOFFIT @ CLT WALL
1 1/2" = 1'-0"



2 DETAIL @ CLT BASEPLATE
1 1/2" = 1'-0"



1 TRANSITION-LESS ENTRY AT DECK
1 1/2" = 1'-0"



EXTERIOR PRODUCT BASIS OF DESIGN SPECIFICATIONS

METAL PANEL SIDING	AESPAN PRESTIGE SERIES, MIDNIGHT BRONZE
	7/8" METAL HAT CHANNEL
SEMI-RIGID INSULATION	ROCKWOOL COMFORTBOARD 110
WEATHER AND AIR BARRIER	VAPROSHIELD WRAPSHIELD SA
JOINT TAPE	3" VAPROSHIELD VAPROTAPE
CLT FINISH	PANEL FACES: SANSIN KP-12, ON PANEL END GRAIN: SANSIN END SEAL
WOOD SOFFIT	2X6 CEDAR, FINISH: SANSIN KP-12
WINDOW AND DOOR TRIM	DOUGLAS FIR TO MATCH CLT

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REGISTERED ARCHITECT
BRIAN COLE
STATE OF WASHINGTON

CONSULTANT
PROFESSIONAL ENGINEER

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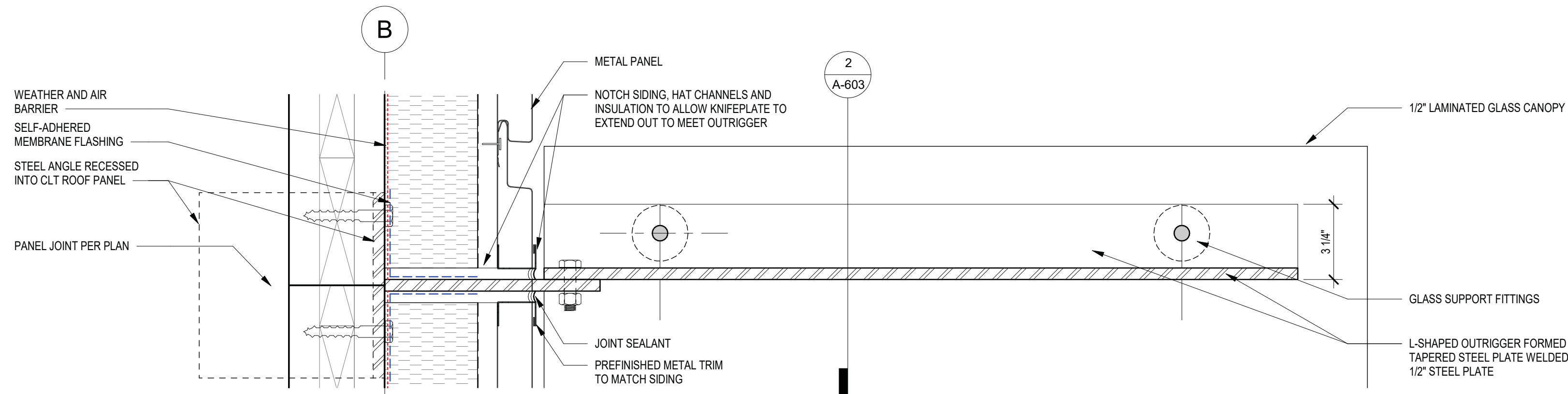
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The Miller Hull Partnership, LLP
Architecture and Planning
Polson Building
71 Columbia, Sixth Floor
Seattle, WA 98104
Phone 206.682.6837
Fax 206.682.5892

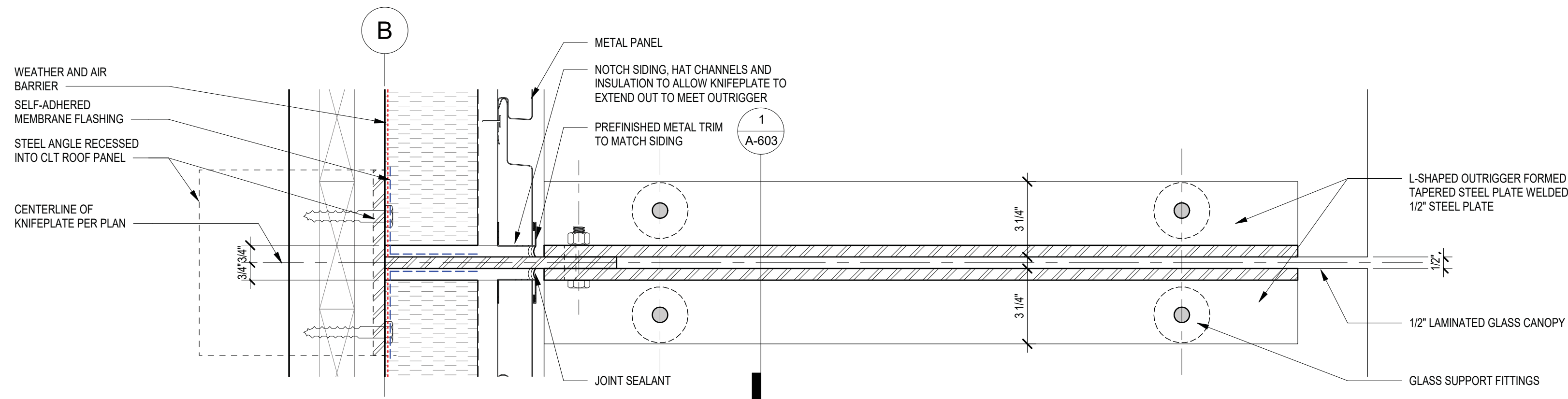
MILLER HULL

SHEET
**EXTERIOR
DETAILS
A-602**

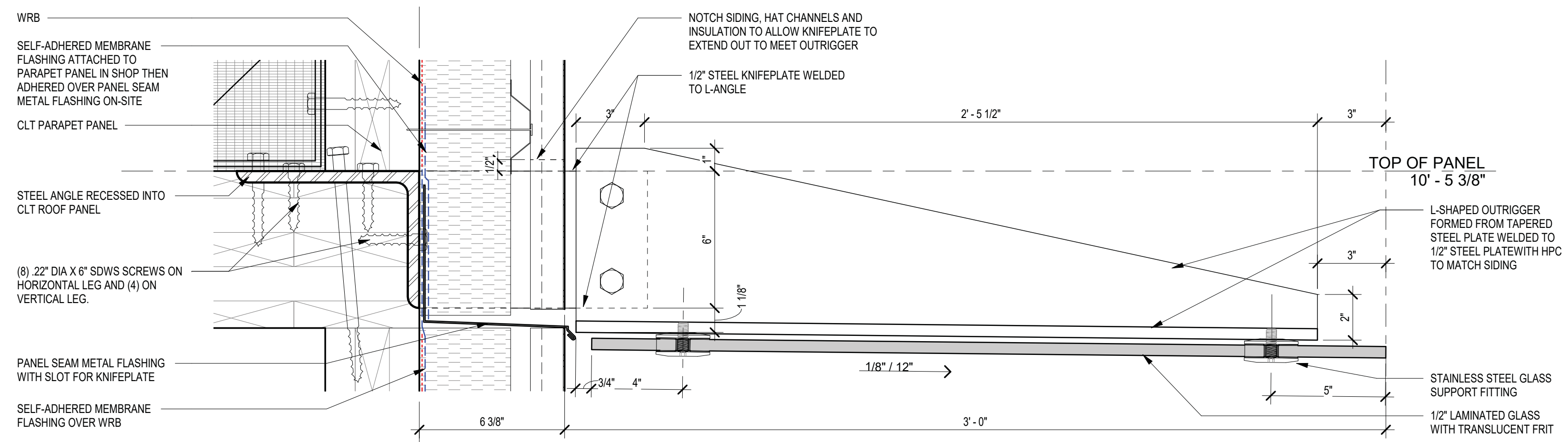
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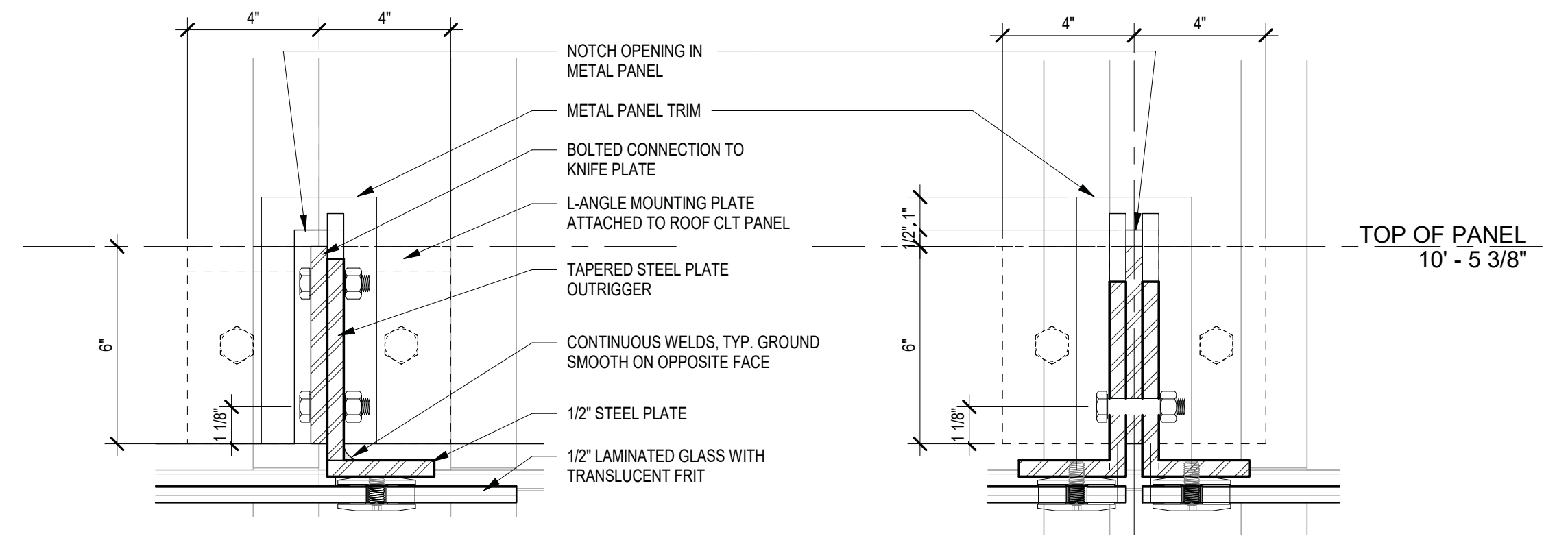
7 CANOPY DETAIL PLAN, END
3" = 1'-0"



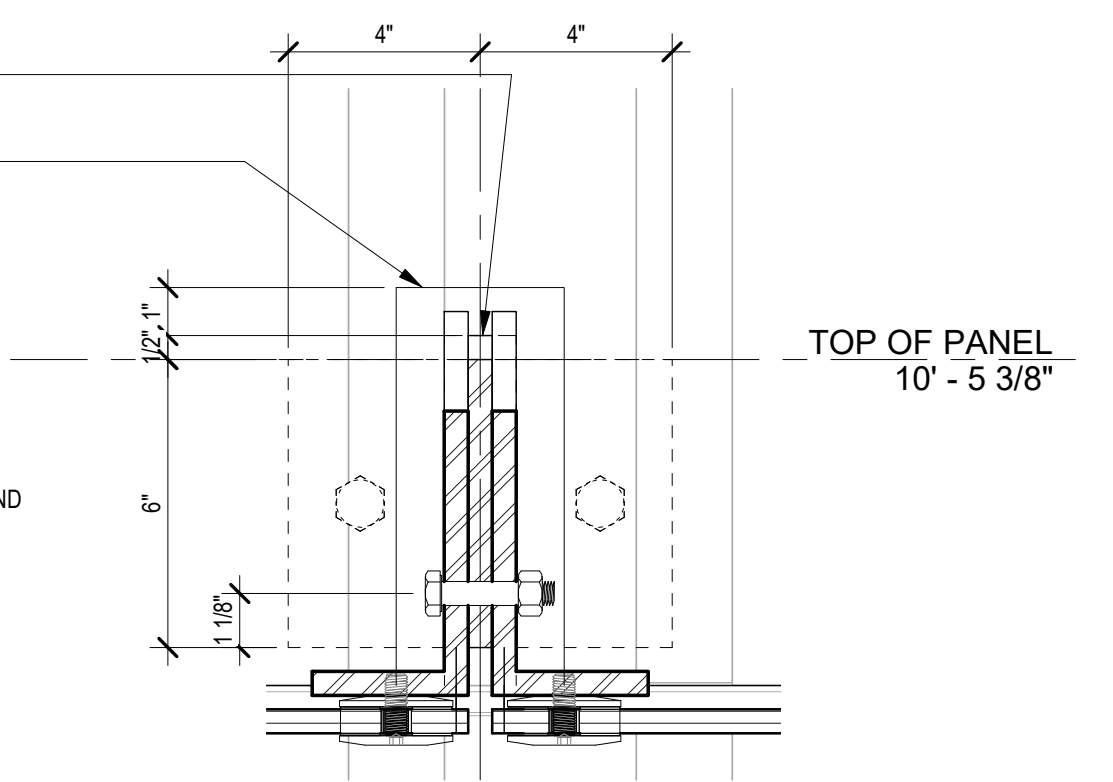
4 CANOPY PLAN DETAIL, TYP.
3" = 1'-0"



3 CANOPY SECTION
3" = 1'-0"



2 OUTRIGGER DETAIL, END
3" = 1'-0"



1 OUTRIGGER DETAIL, TYP.
3" = 1'-0"

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Issue Date: JANUARY 12, 2021	No. Description Date	9200 REGISTERED ARCHITECT	Matt's Place Spokane 1+
Drawn: Author	C PERMIT RESUBMITTAL 1/12/21	BRIAN COLE	1116 East Francis Avenue Spokane, WA 99208
Checked: Checker		THE CENTRAL ENGINEERING & ARCHITECTURE	PERMIT SUBMITTAL
MJH Project No.: H94.008817		STATE OF WASHINGTON	JANUARY 12, 2021

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Issue Date: JANUARY 12, 2021	No. Description Date	9200 REGISTERED ARCHITECT	Matt's Place Spokane 1+
Drawn: Author	C PERMIT RESUBMITTAL 1/12/21	BRIAN COLE	1116 East Francis Avenue Spokane, WA 99208
Checked: Checker		THE CENTRAL ENGINEERING & ARCHITECTURE	PERMIT SUBMITTAL
MJH Project No.: H94.008817		STATE OF WASHINGTON	JANUARY 12, 2021

ARCHITECT

The Miller Hull Partnership, LLP
Architecture and Planning
Polson Building
71 Columbia, Sixth Floor
Seattle, WA 98104

Phone 206.682.6837
Fax 206.682.5892

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EXTERIOR DETAILS - CANOPY

A-603

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Polson Building
71 Columbia, Sixth Floor
Seattle, WA 98104

Phone 206.682.6837
Fax 206.682.5892

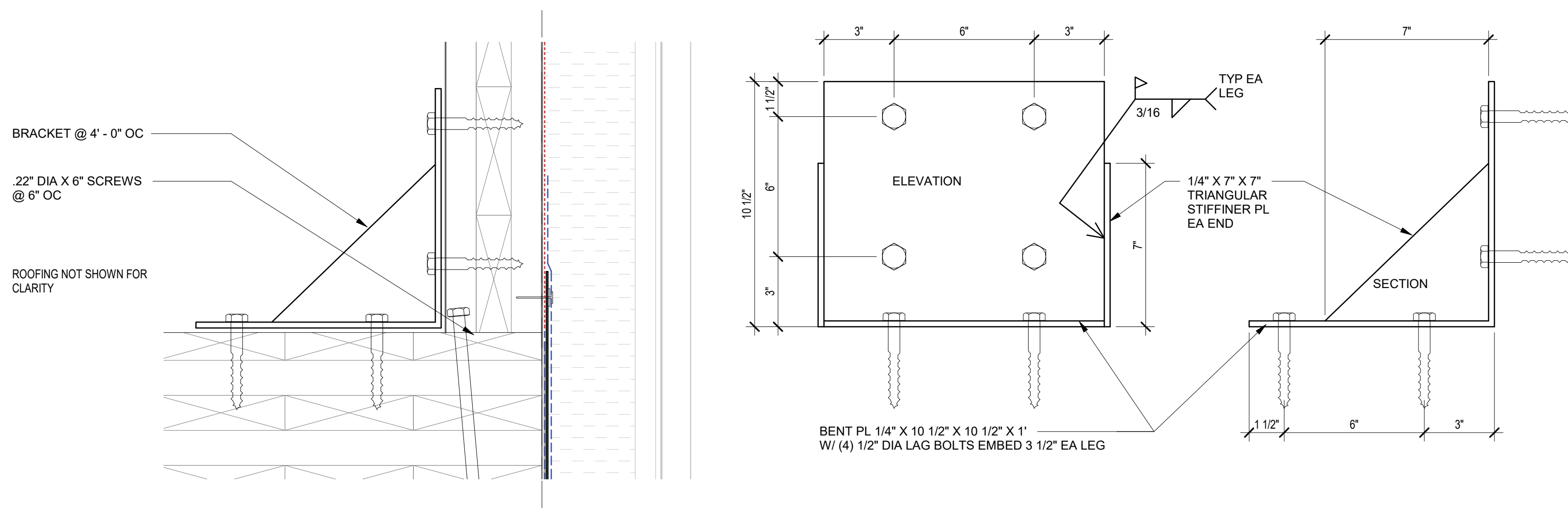
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EXTERIOR DETAILS - CANOPY

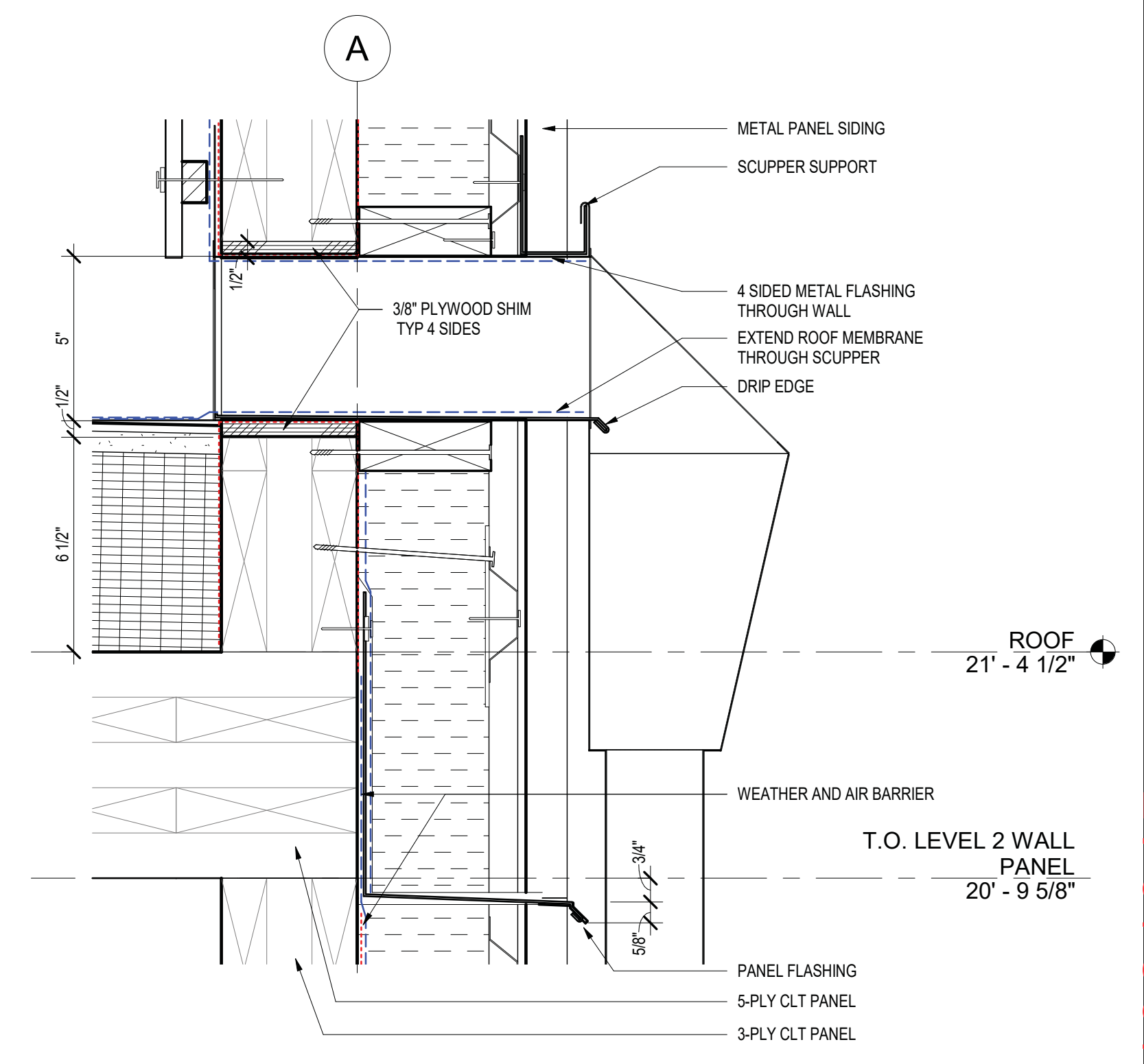
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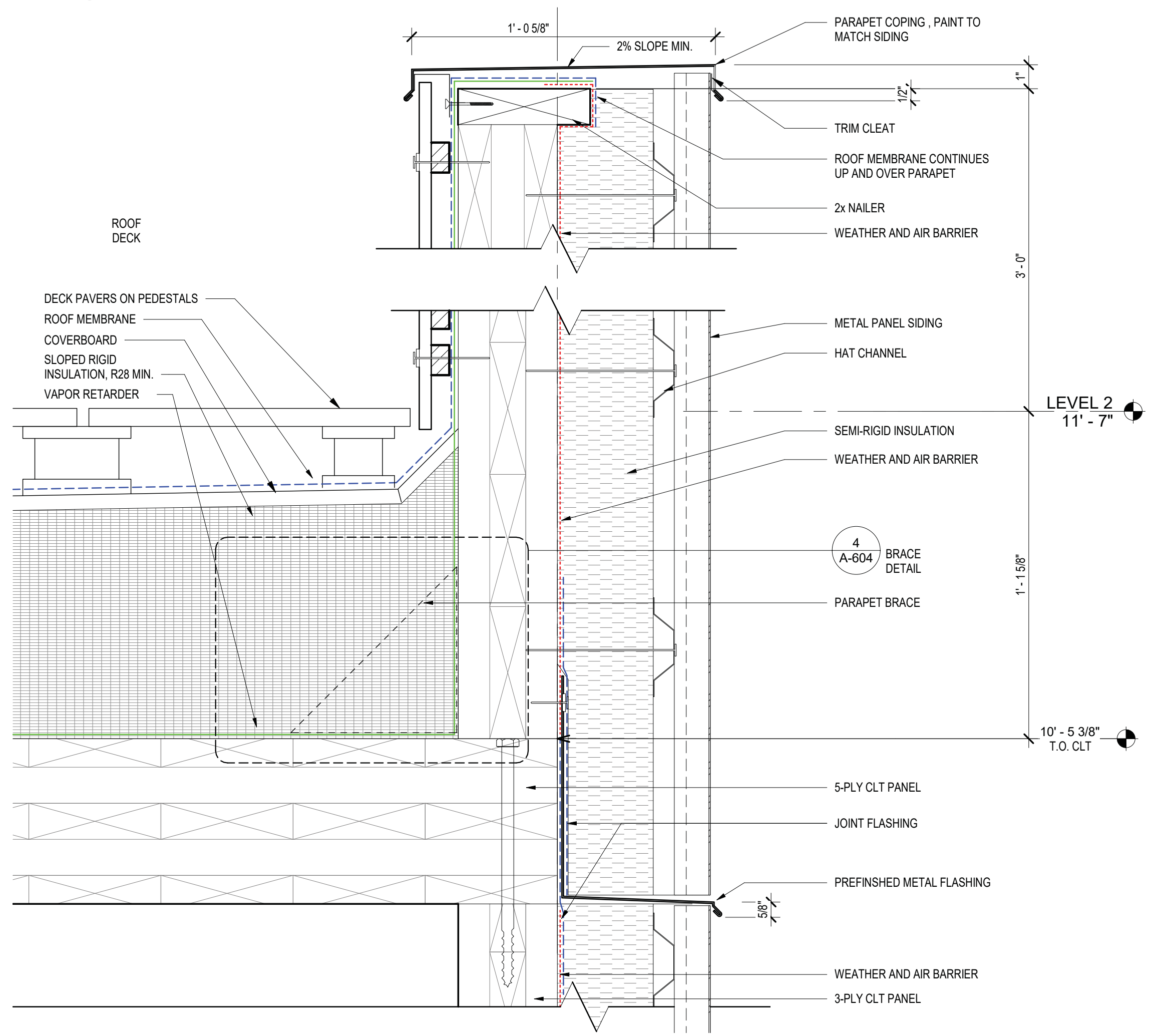
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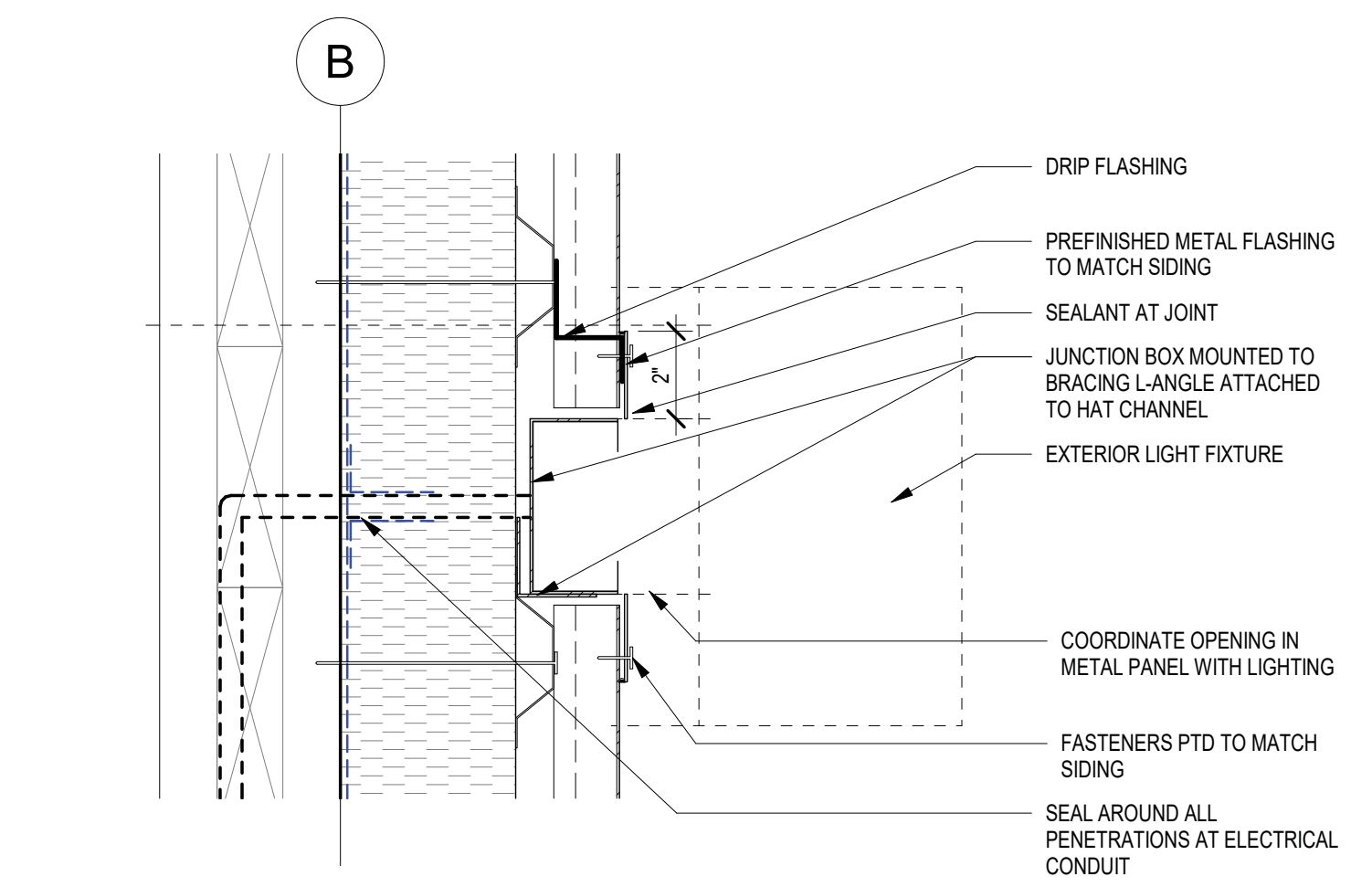
4 PARAPET BRACKET DETAIL
3" = 1'-0"



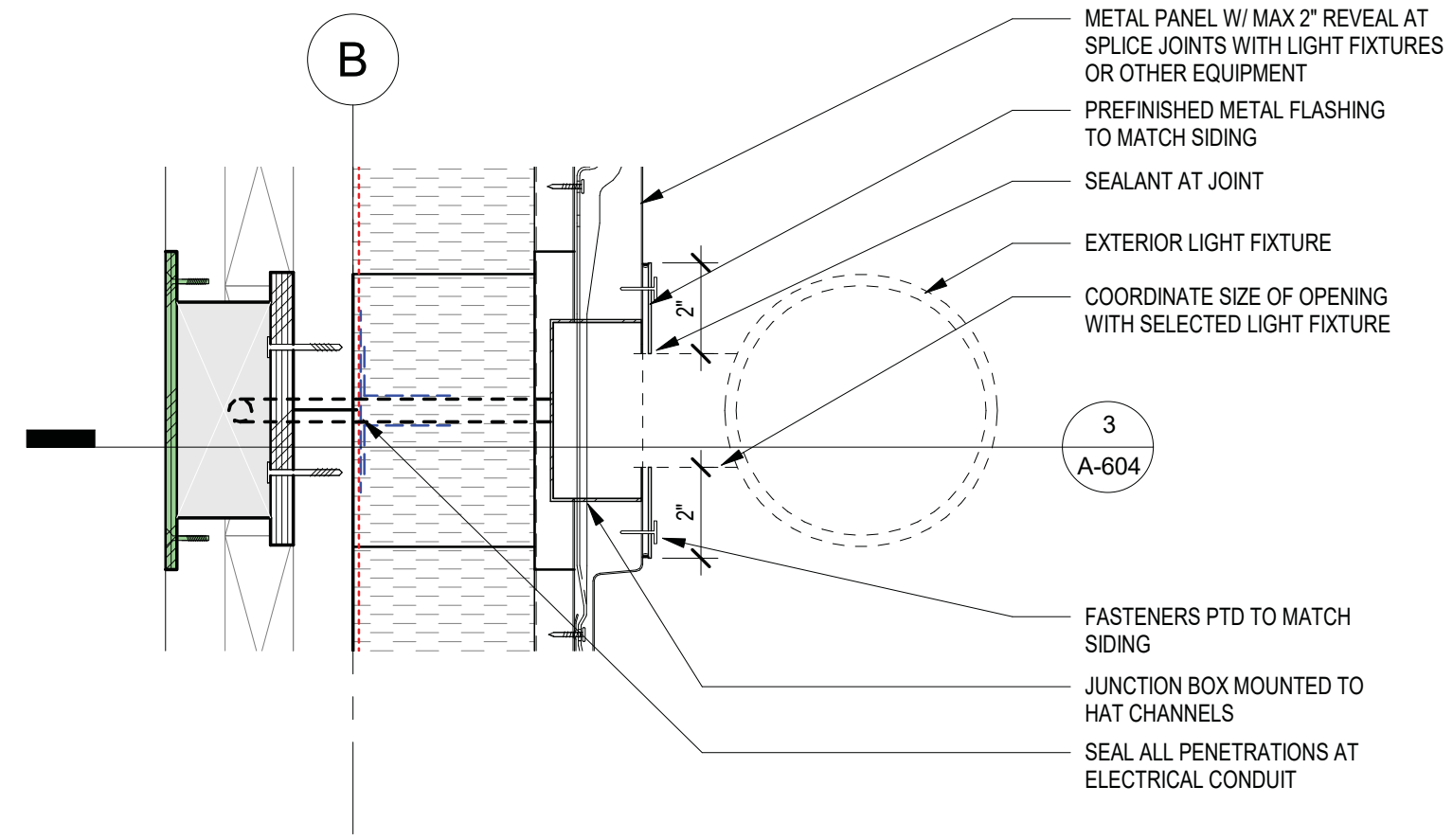
6 SCUPPER - DETAIL SECTION
3" = 1'-0"



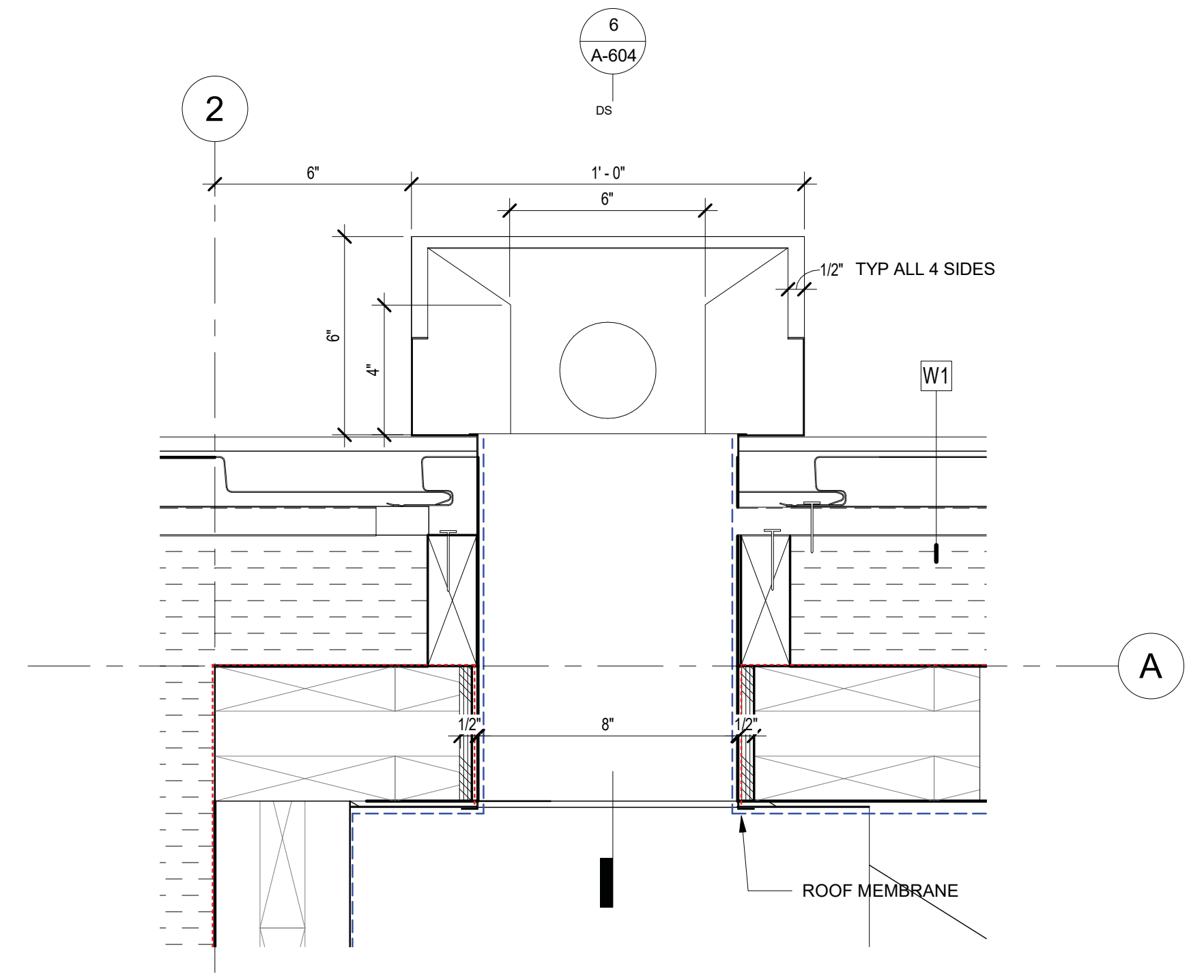
5 PARAPET SECTION, TYP
3" = 1'-0"



3 LIGHT FIXTURE - SECT DETAIL
3" = 1'-0"



2 LIGHT FIXTURE - DETAIL PLAN, TYP.
3" = 1'-0"



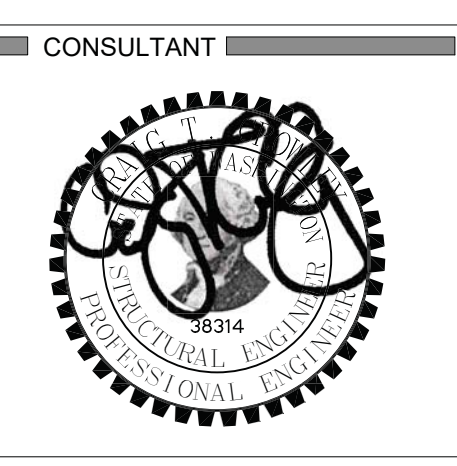
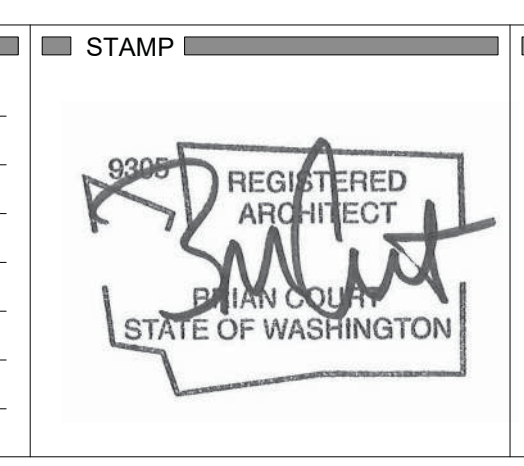
1 SCUPPER - DETAIL PLAN
3" = 1'-0"

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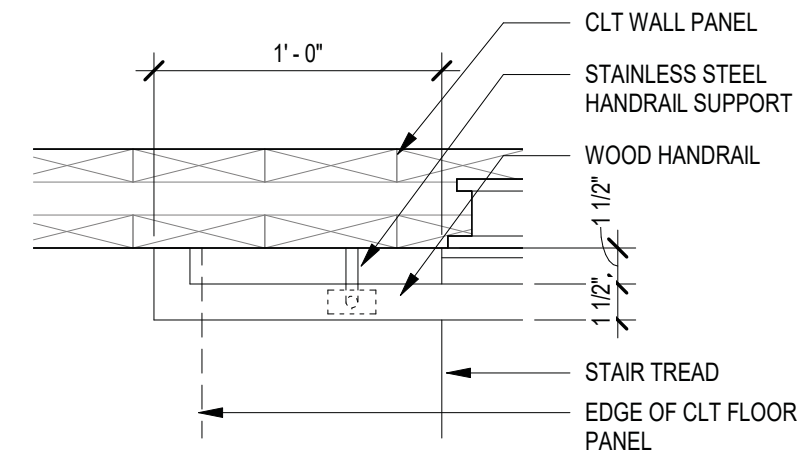
Matt's Place Spokane 1+
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ARCHITECT: The Miller Hull Partnership, LLP
 Architecture and Planning
 Polson Building
 71 Columbia, Sixth Floor
 Seattle, WA 98104
 Phone 206.682.6837
 Fax 206.682.5892

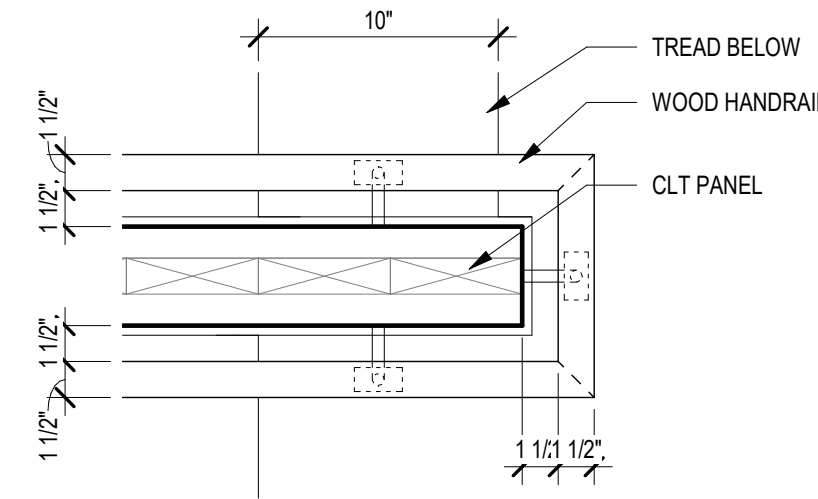
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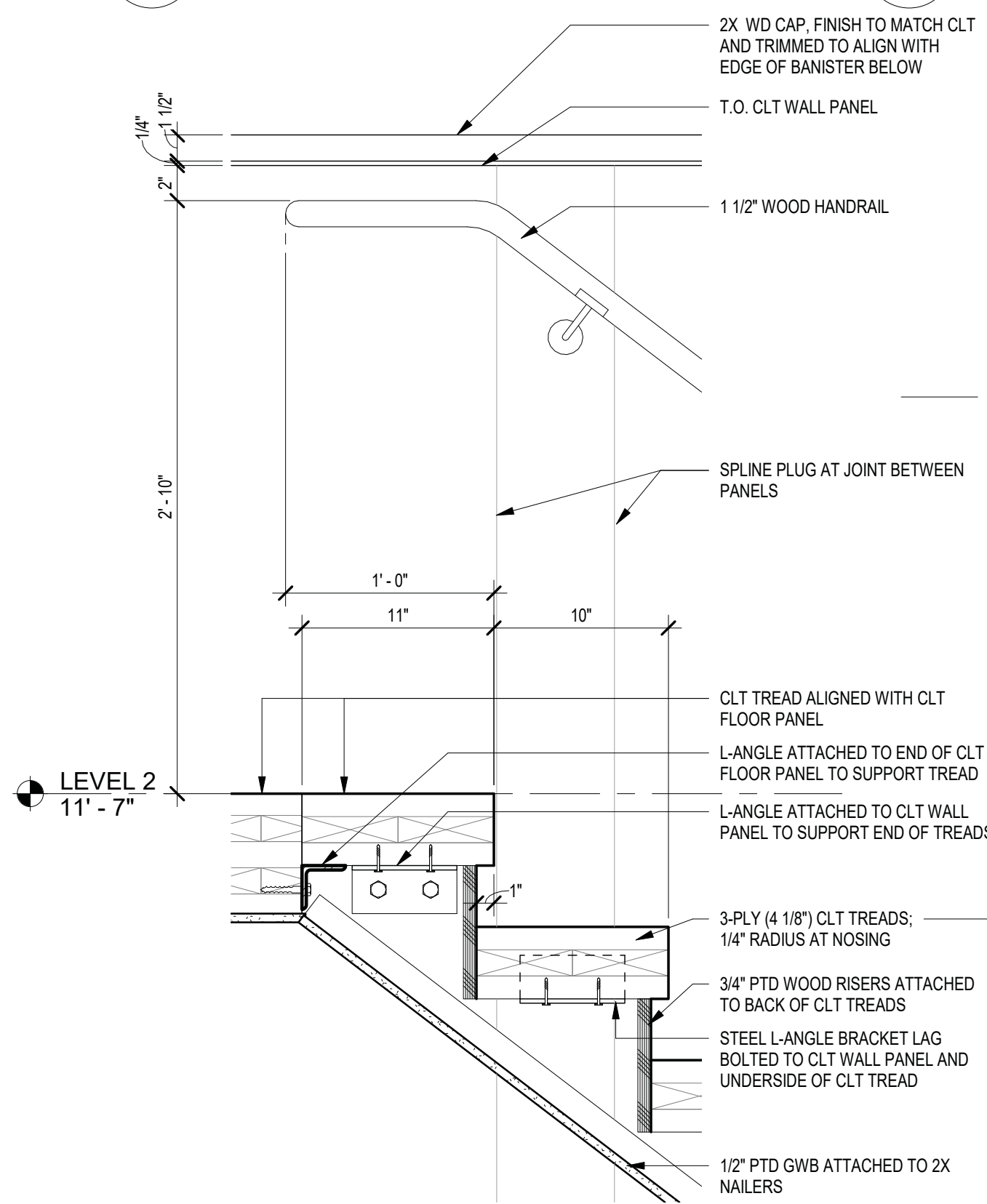
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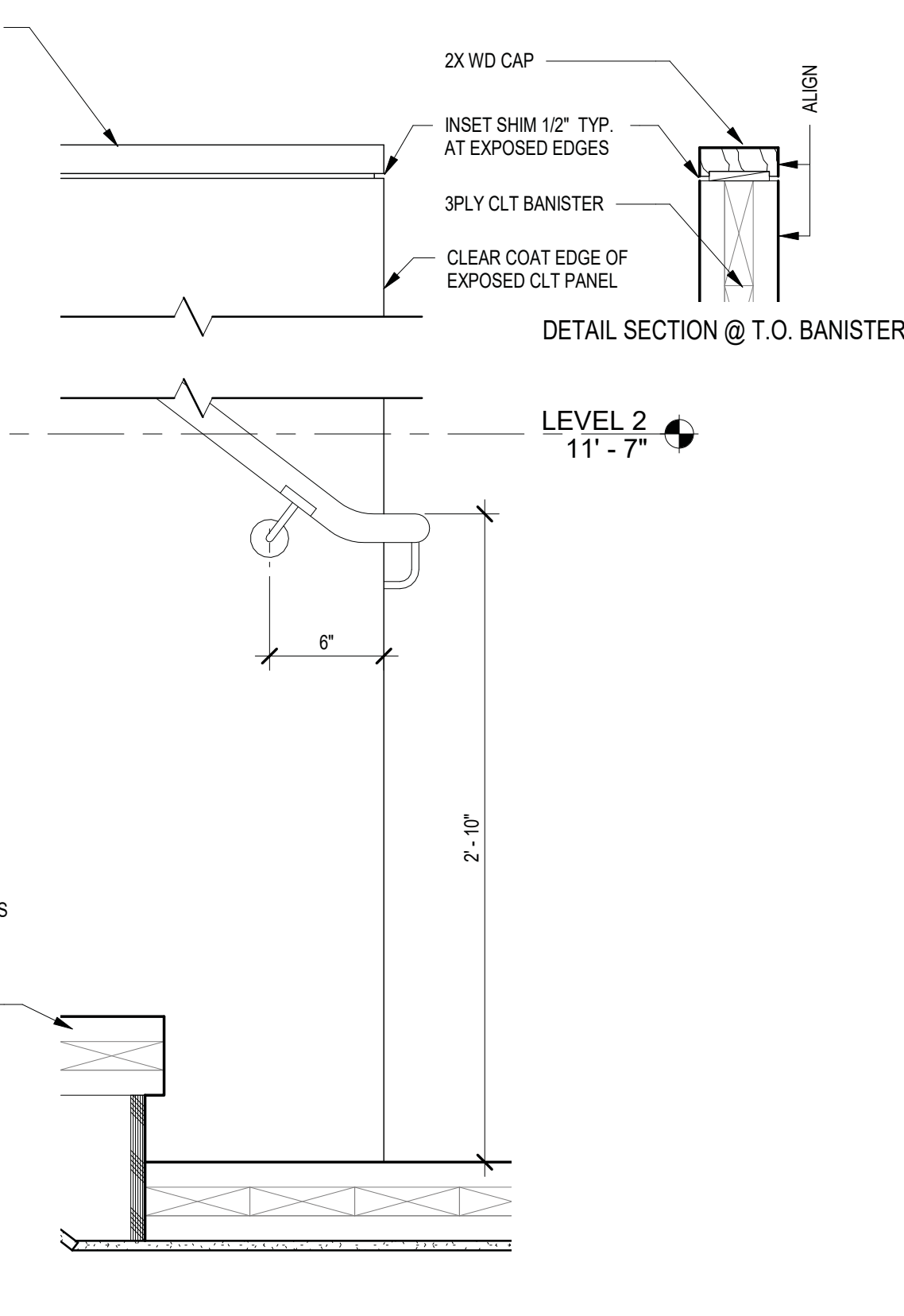
9 **DETAIL - TOP HANDRAIL**
1 1/2" = 1'-0"



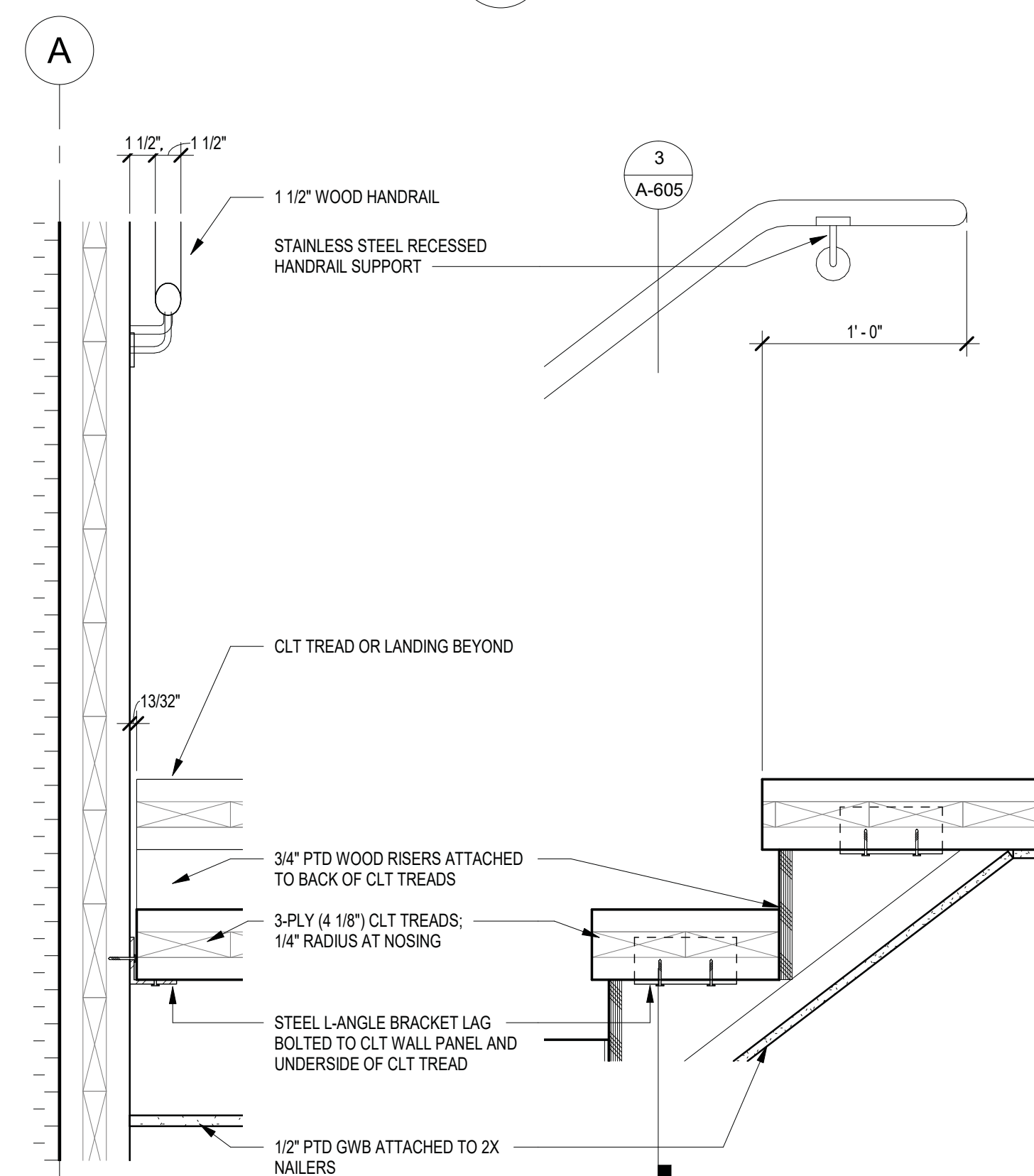
8 **DETAIL - MID-HANDRAIL EXTENSION**
1 1/2" = 1'-0"



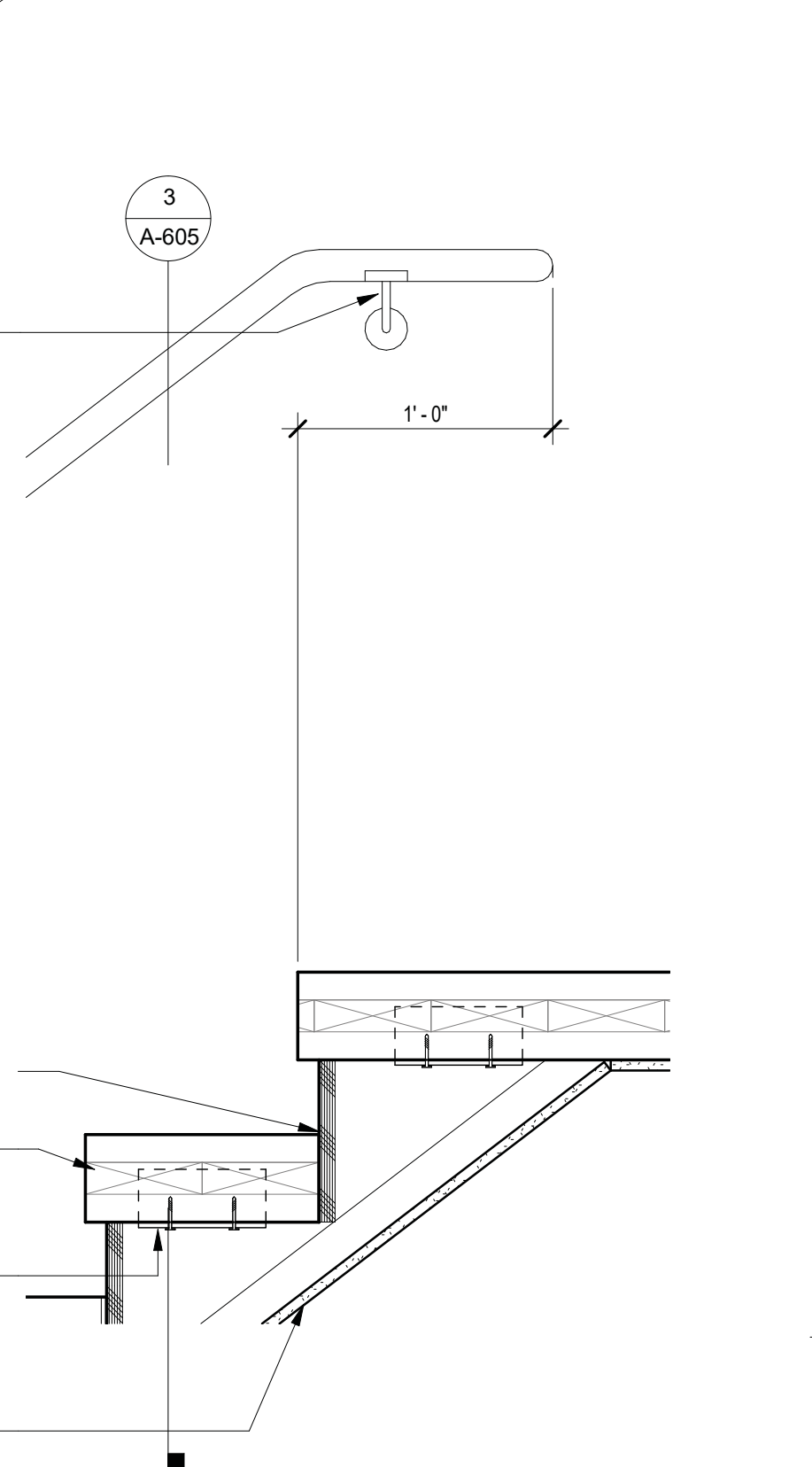
5 **DETAIL - TOP LANDING**
1 1/2" = 1'-0"



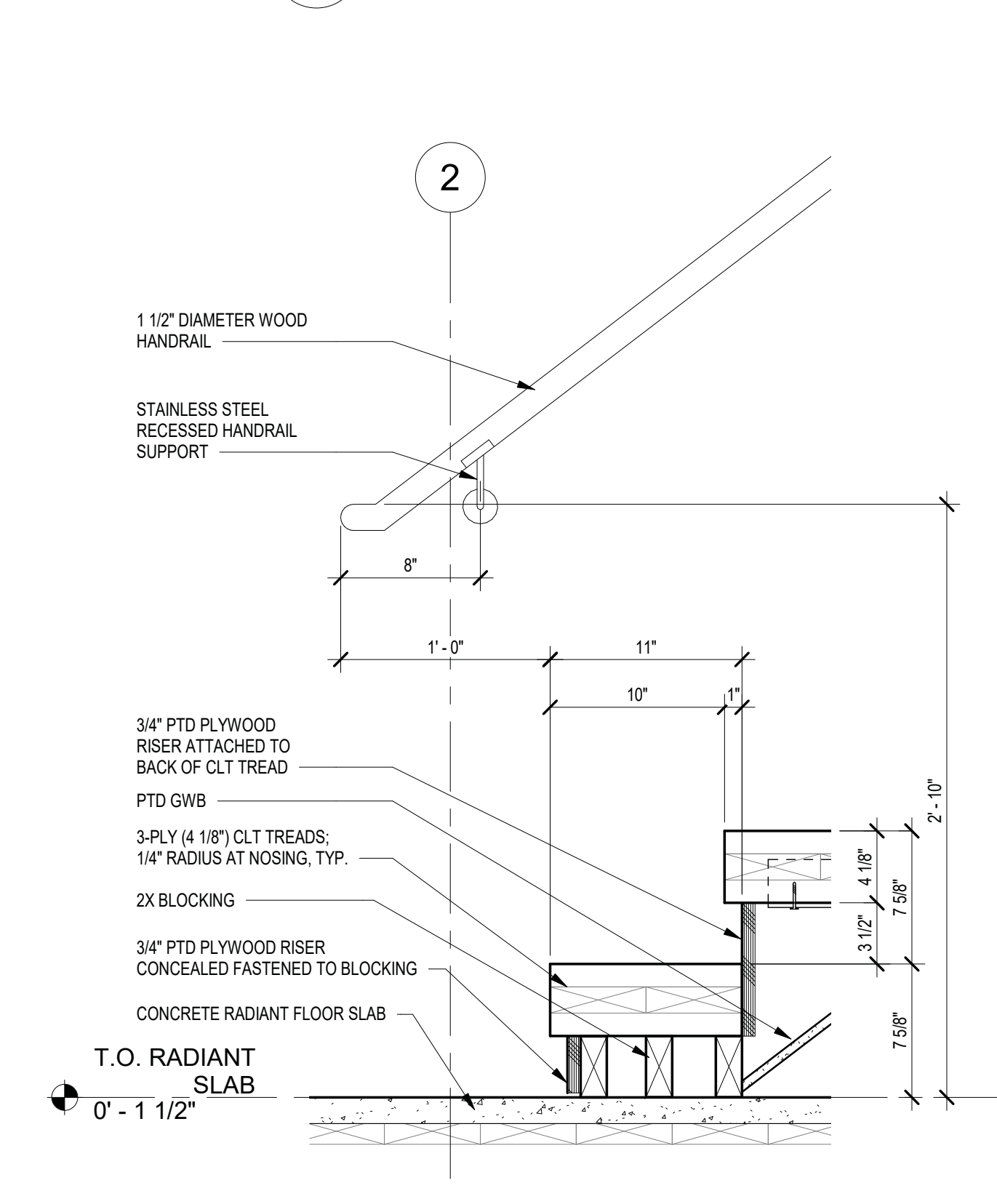
4 **DETAIL - B.O. MID LANDING**
1 1/2" = 1'-0"



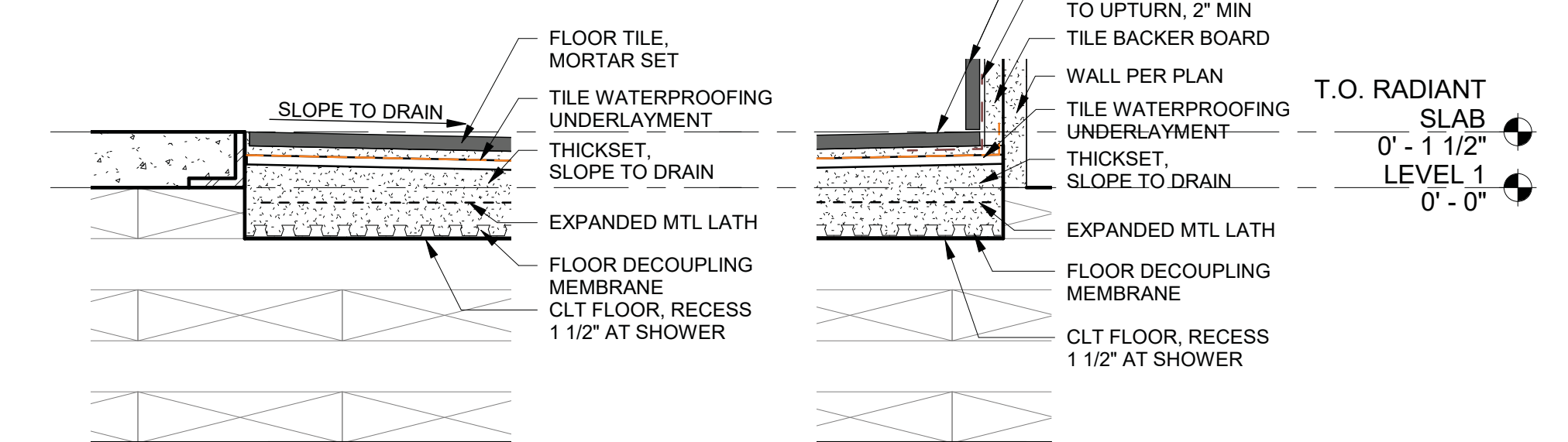
3 **DETAIL - RAILING**
1 1/2" = 1'-0"



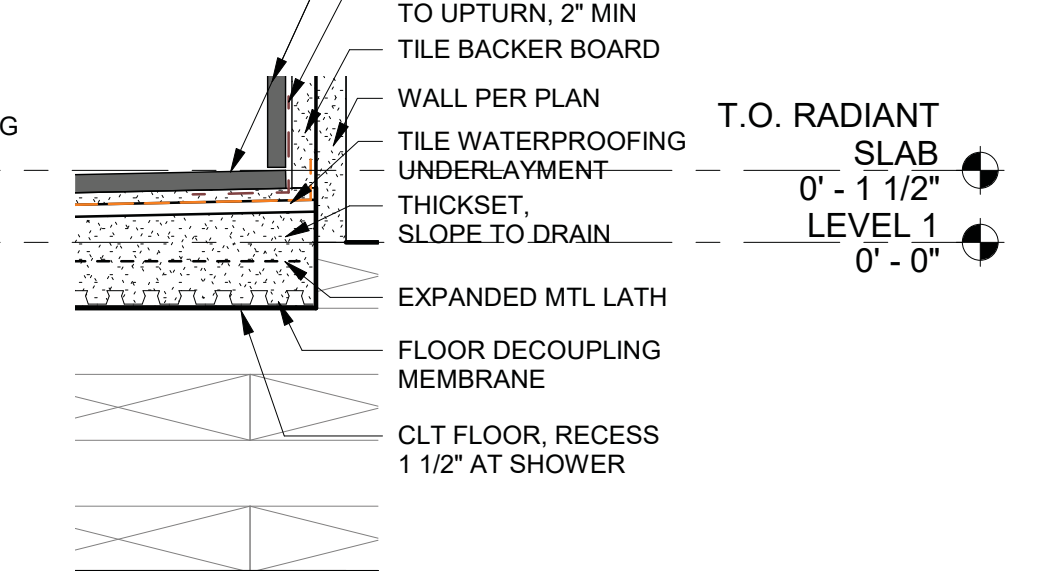
2 **DETAIL - T.O. MID LANDING**
1 1/2" = 1'-0"



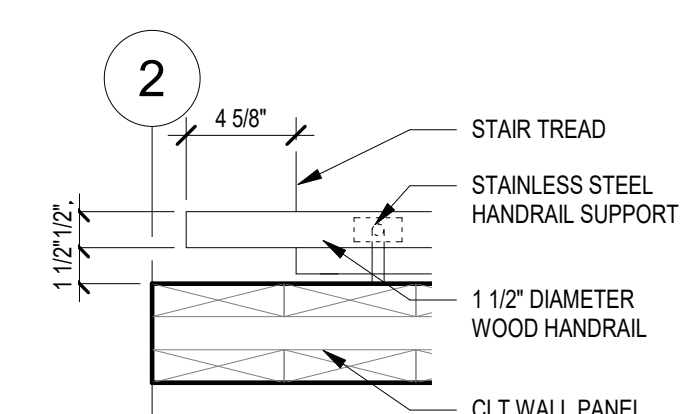
1 **DETAIL - BOTTOM LANDING**
1 1/2" = 1'-0"



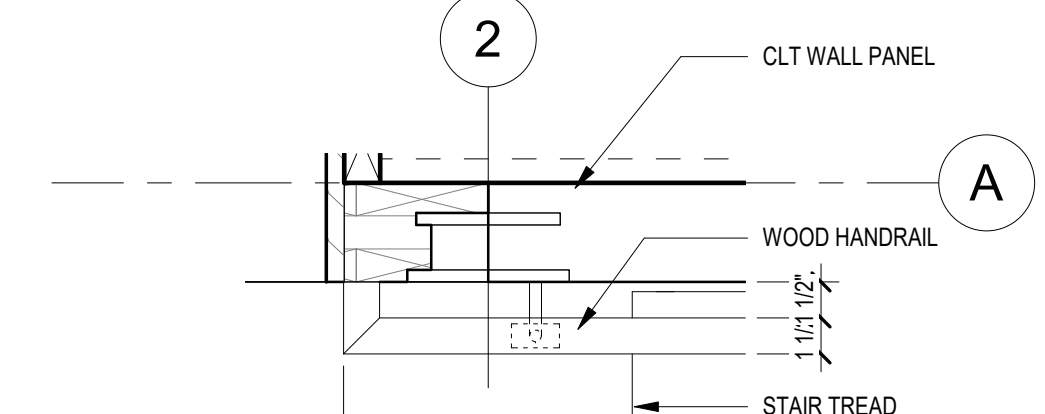
11 **DETAIL - SHOWER FLUSH FLOOR**
3" = 1'-0"



10 **DETAIL - SHOWER WALL**
3" = 1'-0"



7 **DETAIL - B.O. STAIR**
1 1/2" = 1'-0"



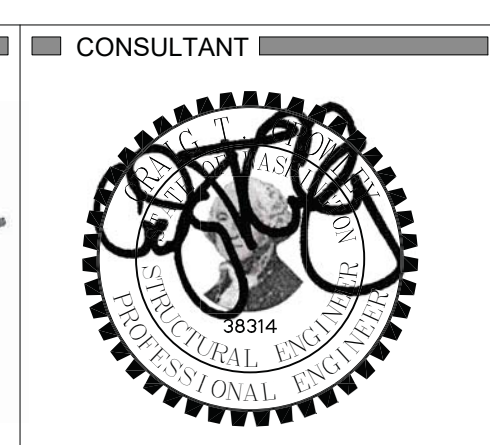
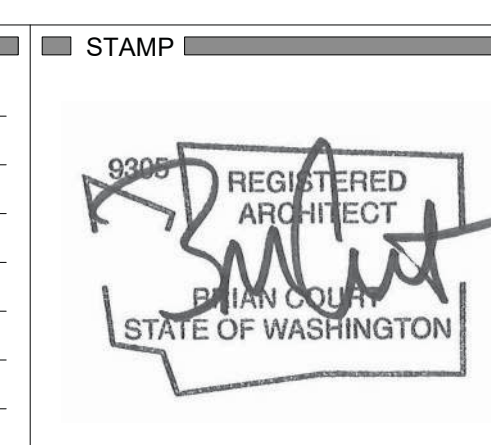
6 **DETAIL - B.O. STAIR, TYP.**
1 1/2" = 1'-0"

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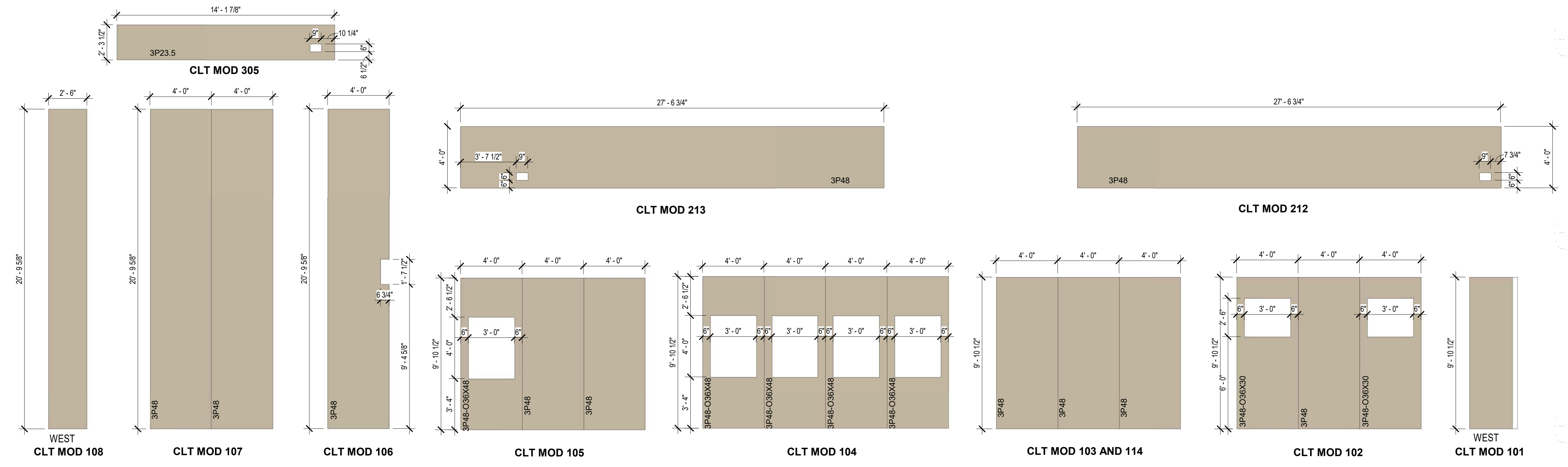
No.	Description	Date
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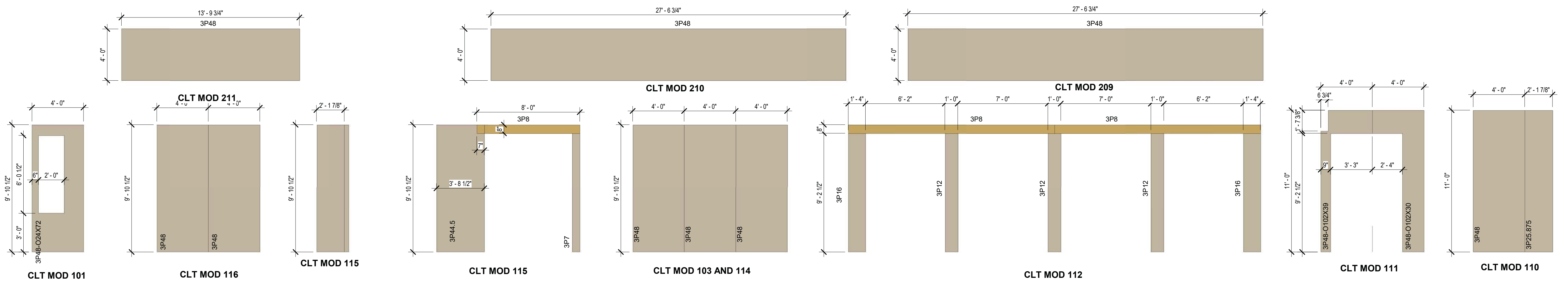
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 JANUARY 12, 2021

ARCHITECT The Miller Hull Partnership, LLP Architecture and Planning Polson Building 71 Columbia, Sixth Floor Seattle, WA 98104 Phone 206.682.6837 Fax 206.682.6892	SHEET INTERIOR DETAILS A-605
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CLT PANELS WEST ELEVATION AT GRID A

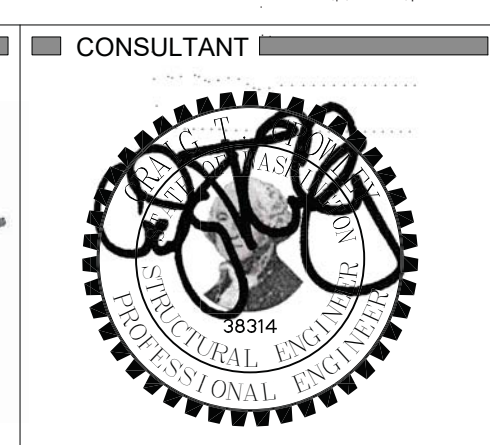
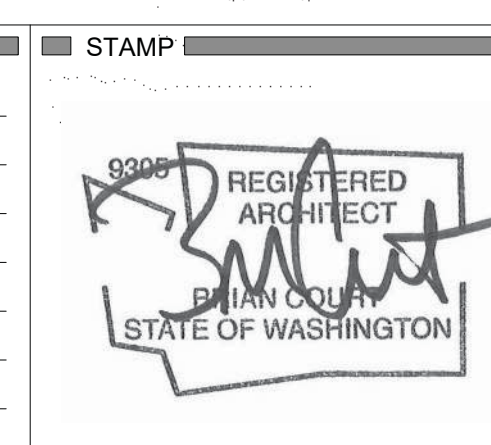


CLT PANELS SOUTH ELEVATION AT GRID 1

CLT PANELS EAST ELEVATION AT GRID B

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JANUARY 12, 2021

ARCHITECT

The Miller Hull Partnership, LLP
Architecture and Planning
Polson Building
71 Columbia, Sixth Floor
Seattle, WA 98104

Phone 206.682.6837
Fax 206.682.5692

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SHEET

**CLT WALL
PANELS
A-606**

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